

City of East Bethel

Planning Commission Agenda

7:00 PM

December 28, 2010



	Item
7:00 PM	1.0 Call to Order
7:03 PM	2.0 Adopt Agenda
7:04 PM	3.0 Site Plan Review – East Bethel Water Treatment Facility. Location being 19458 Taylor St. NE, East Bethel, MN 55011.
7:55 PM	4.0 Approve November 23, 2010 Planning Commission Meeting Minutes
8:00 PM	5.0 Adjourn



City of East Bethel Planning Commission Agenda Information

Date:

December 28, 2010

Agenda Item Number:

3.0

Agenda Item:

East Bethel Water Treatment Facility Site Plan Review

Requested Action:

Consider Approval of a Site Plan Review for the East Bethel Water Treatment Facility Located in the City Center District (CC)

Background Information:

Property Owner/Applicant:

City of East Bethel
2241 221st Avenue NE
East Bethel, MN 55011

Property Location:

19458 Taylor Street NE
East Bethel, MN 55011
PIN: Unassigned at this time

The City of East Bethel is requesting site plan approval to construct a water treatment facility. The City of East Bethel has recently purchased the property from Ms. Kim Thompson and a portion of a property from Shaw Trucking for the construction of the facility.

Attachment 3 shows the property to be used for the facility. Attachment 4 shows the existing residential structures (house, garage, well, and septic) that will be removed from the site. Once the removal is complete, construction of the new facilities (attachment 5) will begin after the required permits are issued.

The existing parcel is accessed off Taylor Street NE. The water treatment facility will use the same access point off of Taylor Street NE. The facility will be owned and operated by the City of East Bethel. One (1) staff person will check the facility on a daily basis with the possibility of one (1) additional staff member. Bulk chemical delivery will occur approximately once every two (2) months; therefore, traffic generated will be minimal. Parking is provided on site; it will be required for the parking area to be designed according to East Bethel Code Appendix A, Zoning, Section 22, Parking and Loading Requirements including, but not limited to, the following: fire access, striping of parking stalls, and accessible parking. This will be addressed by the Building Department at the time of review of the building plans.

There will be a variety of trees and shrubs planted around the northern and easterly side of the facility. The landscaping plan (attachment 6) includes the planting of Prairie Fire Flowering Crab, River Birch, Black Hills Spruce, spirea, barberry, and dogwoods. The proposed landscaping meets the requirements set forth in City Code Appendix A, Zoning, Section 27,

Landscaping Regulations. According to East Bethel City Code, all new plantings, including turf establishment, must be guaranteed for one full year from the time the planting has been completed. The city will be responsible for ensuring the landscaping remains healthy. Plantings that do not establish must be replaced.

The proposed photometric (attachment 7) plan provides for lighting around the building and seven additional downcast shielded lights mounted on poles in the parking area. Pole height will not exceed 30 feet, as required by city code.

As part of the site plan review, a grading & utility plan and the storm water pollution and erosion/sediment control plan has been submitted. The plans meet all code and state requirements. A representative from Bolton & Menk, Inc., the consulting engineer, will be available to answer questions regarding the plans.

Exterior elevations have been submitted as attachment 11. The proposed building is a masonry structure with a rock face block exterior. Exterior colors will be finalized during the construction phase of the project. A rock face exterior meets the architectural standards set forth City Code, Appendix A, Zoning.

According to East Bethel City Code, Appendix A, Zoning, and the City Council approved East Bethel Comprehensive Plan, governmental essential services is an approved and supported use in the City Center District. Therefore, staff recommends the proposed site plan is approved.

Attachments:

1. Site Location
2. Site Plan Application
3. Property Survey
4. Site Removal Plan
5. Site Plan
6. Landscape Plan
7. Lighting Plan
8. Grading and Utilities Plan
9. Erosion and Sediment Control Plan
10. Floor Plan
11. Exterior Building Elevations

Fiscal Impact:

Undetermined at this time

Staff Recommendations:

Because the site plan review meets requirements set forth in East Bethel City Code Appendix A, Zoning, and meets the intent of the City Council approved East Bethel Comprehensive Plan, city staff requests Planning Commission to recommend approval to City Council of the site plan review for the construction of the City of East Bethel Water Treatment Facility at the property to be owned by the City of East Bethel, 19458 Taylor Street NE, East Bethel, MN, with the following conditions:

1. Any modifications to the approved site plan shall be submitted to and approved by City Staff.
2. All conditions must be satisfied prior to the issuance of a building permit.

3. City of East Bethel is responsible for guaranteeing the landscaping and will replace any dying or diseased plants.
4. Parking and loading requirements will be addressed by the Building Department at the time of review of the building plans.

City Council Action

Motion by: _____ Second by: _____

Vote Yes: _____

Vote No: _____

No Action Required: _____

SHEET INDEX

- 1.01 TITLE
- 1.02 VICINITY MAP AND LOCATION MAP AND SHEET INDEX
- 1.03 ABBREVIATION LEGEND
- 1.04 LEGEND
- 1.05 HYDRAULIC PROFILE AND DESIGN DATA
- 1.06 STANDARD DETAILS
- 1.07 STANDARD DETAILS
- 1.08 STANDARD DETAILS
- 1.09 STANDARD DETAILS

- 2.01 SITE PLAN - EXISTING CONDITIONS AND REMOVAL
- 2.02 SITE PLAN - SITE PIPING
- 2.03 SITE PLAN - GRADING AND UTILITIES
- 2.04 STORM WATER POLLUTION PREVENTION PLAN - NARRATIVE
- 2.05 STORM WATER POLLUTION PREVENTION PLAN - USGS LOCATION AND SOILS MAPS
- 2.06 STORM WATER POLLUTION PREVENTION PLAN - EROSION AND SEDIMENT CONTROL PLAN
- 2.07 CONSTRUCTION DETAILS
- 2.08 CONSTRUCTION DETAILS

- 3.01 STRUCTURAL NOTES
- 3.02 LOWER LEVEL FOUNDATION PLAN
- 3.03 NOT USED
- 3.04 RECLAIM TANK - WALL PLAN
- 3.05 CLEARWELL - WALL PLAN
- 3.06 FILTER/DETENTION TANK WALL PLAN
- 3.07 OVERALL LOWER ROOF / UPPER FLOOR FRAMING PLAN
- 3.08 NOT USED
- 3.09 OVERALL UPPER ROOF FRAMING PLAN
- 3.10 SECTIONS
- 3.11 SECTIONS
- 3.12 SECTIONS
- 3.13 SECTIONS
- 3.14 SECTIONS
- 3.15 SECTIONS
- 3.16 SECTIONS
- 3.17 SECTIONS
- 3.18 SECTIONS
- 3.19 ENLARGED CHEMICAL ROOM - PLAN AND SECTIONS
- 3.20 SECTIONS
- 3.21 SECTIONS
- 3.22 SECTIONS
- 3.23 SECTIONS

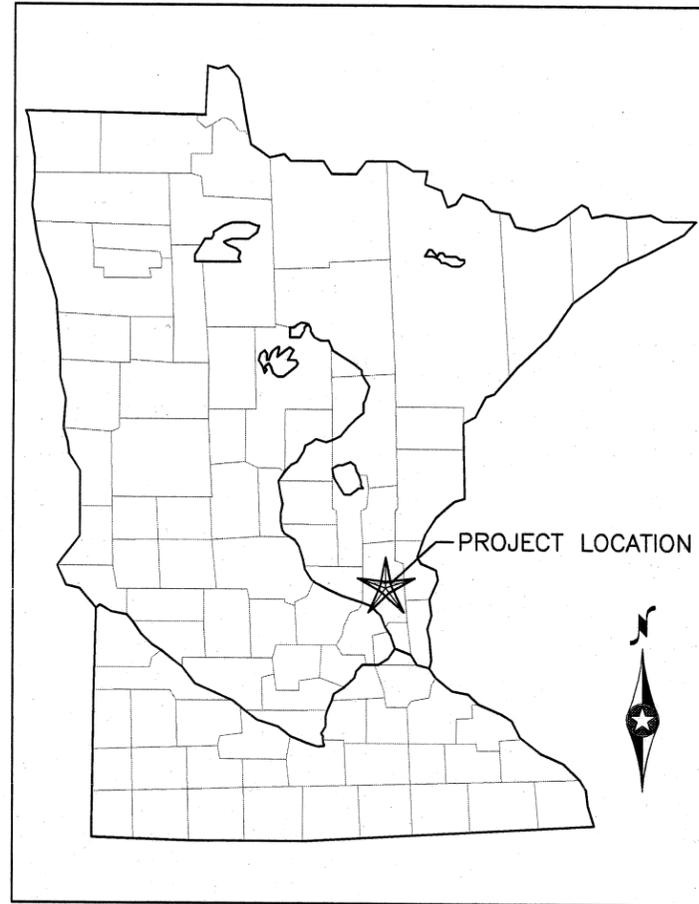
- 4.01 CODE STUDY AND GENERAL NOTES
- 4.02 GROUND LEVEL FLOOR PLAN
- 4.03 UPPER LEVEL FLOOR PLAN
- 4.04 ROOF PLAN
- 4.05 GROUND LEVEL FLOOR PLAN - ENLARGED PLAN & INTERIOR ELEVATIONS
- 4.06 SCHEDULES AND OPENING DETAILS
- 4.07 EXTERIOR ELEVATIONS (ALTERNATE BID)
- 4.08 EXTERIOR ELEVATIONS (BASE BID)
- 4.09 EXTERIOR ELEVATIONS AND SECTIONS
- 4.10 SECTIONS AND DETAILS
- 4.11 SECTIONS AND DETAILS
- 4.12 STAIR SECTIONS
- 4.13 STAIR SECTIONS AND DETAILS

- 5.01 PROCESS FLOW DIAGRAM NO. 1
- 5.02 NOT USED
- 5.03 PLAN OVERALL
- 5.04 PLAN - FILTER AREA - UPPER LEVEL @ EL 936
- 5.05 PLAN - FILTER AREA - UPPER LEVEL @ EL 925
- 5.06 PLAN - FILTER AREA - UPPER LEVEL @ EL 917
- 5.07 PLAN - FILTER AREA - UPPER LEVEL @ EL 908
- 5.08 PLAN - PUMP GALLERY SOUTH @ EL 917
- 5.09 NOT USED
- 5.10 PLAN - PUMP GALLERY NORTH @ EL 917
- 5.11 PLAN - PUMP GALLERY SOUTH @ EL 908
- 5.12 NOT USED
- 5.13 PLAN - PUMP GALLERY NORTH @ EL 908
- 5.14 PLAN - RO ROOM @ EL 917
- 5.15 PLAN - RO ROOM @ EL 908
- 5.16 SECTION 1
- 5.17 SECTION 2
- 5.18 SECTION 3
- 5.19 SECTION 4
- 5.20 SECTION 5
- 5.21 SECTION 6
- 5.22 SECTION 7
- 5.23 SECTION 8
- 5.24 NOT USED
- 5.25 SECTION 10, 11 & 12
- 5.26 SECTION 13 & 14
- 5.27 SECTION 15
- 5.28 SECTION 16
- 5.29 SECTION 17
- 5.30 SECTION 18
- 5.31 SECTION 19
- 5.32 SECTION 20 & 21
- 5.33 SECTION 22 & 23
- 5.34 DETAILS - FILTER CELL, INFLUENT SPLUTTER STRUCTURE AND SPLASH GUARD

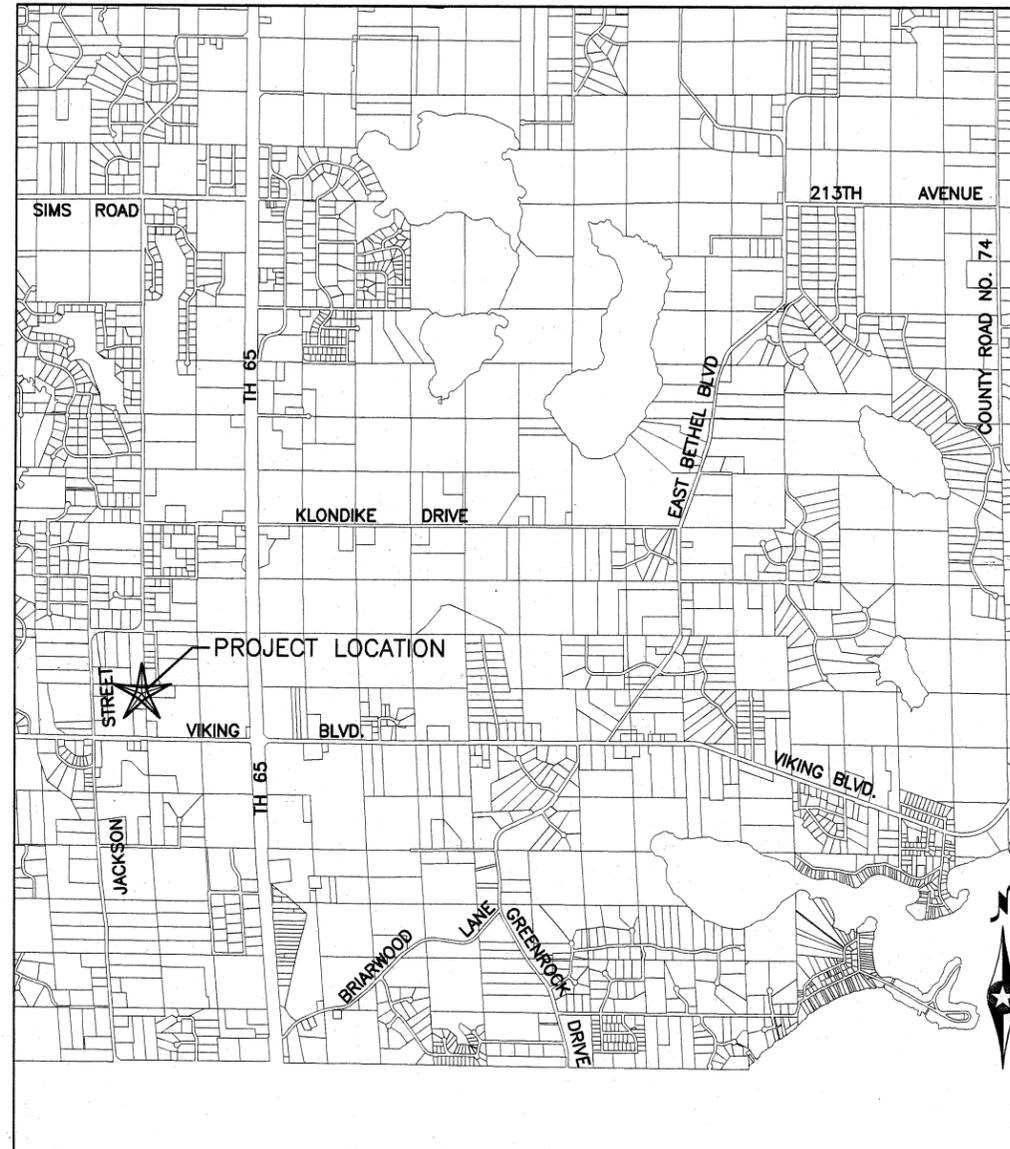
- 6.01 MECHANICAL SYMBOLS AND ABBREVIATIONS
- 6.02 PLUMBING PLAN - MAIN LEVEL
- 6.03 PLUMBING PLAN - MAIN LEVEL
- 6.04 PLUMBING PLAN - MAIN LEVEL
- 6.05 HVAC PLAN - MAIN LEVEL
- 6.06 HVAC PLAN - MAIN LEVEL
- 6.07 HVAC PLAN - MAIN LEVEL
- 6.08 MECHANICAL PLAN - UPPER LEVEL
- 6.09 MECHANICAL ROOF PLAN
- 6.10 PLUMBING AND PIPING DIAGRAMS
- 6.11 MECHANICAL DETAILS
- 6.12 MECHANICAL DETAILS
- 6.13 MECHANICAL DETAILS
- 6.14 MECHANICAL EQUIPMENT SCHEDULES
- 6.15 MECHANICAL EQUIPMENT SCHEDULES
- 6.16 MECHANICAL EQUIPMENT SEQUENCE OF OPERATIONS

- 7.01 ELECTRICAL SYMBOLS AND ABBREVIATIONS
- 7.02 MAIN LEVEL - LIGHTING AND GENERAL POWER PLAN
- 7.03 MAIN LEVEL - LIGHTING AND GENERAL POWER PLAN
- 7.04 MAIN LEVEL AND ROOF - LIGHTING AND GENERAL POWER PLAN
- 7.05 MEZZANINE ELECTRICAL PLANS
- 7.06 MAIN LEVEL - PROCESS ELECTRICAL PLAN
- 7.07 MAIN LEVEL - PROCESS ELECTRICAL PLAN
- 7.08 MAIN LEVEL - PROCESS ELECTRICAL PLAN
- 7.09 ELECTRICAL DETAILS
- 7.10 ELECTRICAL DETAILS
- 7.11 LIGHT FIXTURE AND PANEL SCHEDULES
- 7.12 MOTOR CONTROL CENTER ONE-LINE DIAGRAM
- 7.13 MOTOR CONTROL CENTER ONE-LINE DIAGRAM
- 7.14 MOTOR CONTROL CENTER ONE-LINE DIAGRAM
- 7.15 MOTOR CONTROL CENTER ONE-LINE SCHEMATICS

- 8.01 PANEL SCP SCHEMATIC
- 8.02 PANEL SCP SCHEMATIC
- 8.03 PANEL SCP SCHEMATIC
- 8.04 NOT USED
- 8.05 PANEL SCP SCHEMATIC
- 8.06 PANEL SCP SCHEMATIC
- 8.07 PANEL SCP SCHEMATIC
- 8.08 PANEL SCP SCHEMATIC
- 8.09 PANEL SCP SCHEMATICS
- 8.10 NOT USED
- 8.11 NOT USED
- 8.12 CONTROL PANEL SCHEMATICS
- 8.13 PANEL SCP SCHEMATICS
- 8.14 PANEL SCP SCHEMATICS
- 8.15 PANEL SCP SCHEMATICS



VICINITY MAP
NO SCALE



LOCATION MAP
SCALE: 1"=2000'

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

SIGNATURE: *Paul Saffert* TYPE/ENDOR: Paul Saffert
DATE: 12-1-10 DATE: LIC. NO.: 43485

BOLTON & MENK, INC.
Consulting Engineers & Surveyors
MANAKATO, MN FAIRMONT, MN SLEEPY EYE, MN WILLMAR, MN
BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA

REV.	BY	DATE
0	NWS	10-15-10
1	NWS	12-1-10

REBID
EAST BETHEL, MINNESOTA
WATER TREATMENT FACILITY
VICINITY MAP, LOCATION MAP AND
SHEET INDEX

SHEET
1.02



LAND USE APPLICATION

OFFICE USE ONLY

Date Rec'd _____

By _____

Fee \$ _____

Check appropriate box: VARIANCE CUP IUP FINAL PLAT

BUSINESS CONCEPT PLAN PRELIMINARY PLAN SITE PLAN REVIEW OTHER Site Plan Review

Application shall include the following items and be submitted thirty (30) days prior to scheduled meeting date.

Application is hereby made for _____ (provide narrative below describing proposed use).

Site plan review for East Bethel Water Treatment Facility

LOCATION: PID unassigned Legal: Lot _____ Block _____ Subdivision _____

PROPERTY ADDRESS: 19458 Taylor St NE PRESENT ZONING: CC- City Center

PROPERTY OWNER

CONTACT NAME City of East Bethel PHONE 763.367.7840
 ADDRESS 2241-221st Ave NE FAX 763.434.9578
 CITY/STATE/ZIP East Bethel, MN 55011 E-MAIL _____

APPLICANT

CONTACT NAME Doug Sell - City Administrator PHONE _____
 ADDRESS Same FAX _____
 CITY/STATE/ZIP _____ E-MAIL _____

I fully understand that I must meet with City Staff to review all submission requirements and conditions prior to official submission, and that all of the required information must be submitted at least thirty (30) days prior to the Planning/Zoning Commission and City Council scheduled meeting dates to ensure review by City Staff.

[Signature]
Property Owner's Signature

Douglas Sell
Printed Name

12-14-10
Date

OFFICE USE ONLY - DO NOT COMPLETE			
	Received	Approved/Denied	Notes
Community Dvlp.	_____	_____	
Planning Commission	<u>12/28/10</u>	_____	
City Council	<u>1/19/11</u>	_____	
_____ 60 Day _____ 120 Day			

Attachment #2



BOLTON & MENK, INC.

Consulting Engineers & Surveyors

7533 Sunwood Drive NW, Suite 206 • Ramsey, MN 55303

Phone (763) 433-2851 • Fax (763) 427-0833

www.bolton-menk.com

December 16, 2010

East Bethel Planning Commission
c/o Stephanie Hanson
East Bethel City Planner
2241 221st Avenue NE
East Bethel, MN 55011

RE: Site Plan Review
Water Treatment Facility, Water Tower, Wells
East Bethel, MN
BMI Project No.: C12.100028

Dear Ms. Hanson and Planning Commission Members:

The City of East Bethel is proposing the construction of Water Treatment Facilities as shown on the enclosed plans. The treatment facility is designed to remove iron and manganese from the drinking water supply prior to distribution and use by the connected residents and businesses.

The existing site currently has a housing, garage, well and septic facility in place. The proposal is to demolish, remove or abandon these facilities in accordance with state and local requirements prior to the construction of the new facilities. The proposed building is a masonry structure with a rock face block exterior. Exterior colors will be finalized during the construction phase of the project

The proposed wells will supply water to the treatment plant. The treatment plant has 240,000 gallons of potable water storage and pumps the water to the proposed 500,000 gallon water tower and the new distribution system. All wastewater from the proposed facilities will be collected in the new sewer system and treated at the proposed MCES Wastewater Treatment Facility.

The following page has a quick reference of sheets the planning commission will be interested in reviewing. If you have further comments you would like to discuss, please feel free to call me at 612-840-6068.

Sincerely,
BOLTON & MENK, INC.


Paul Saffert, P.E.
Associate Engineer

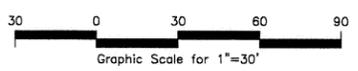
PS/jo



- LEGEND**
-  REMOVE BUILDING
 -  REMOVE BITUMINOUS
 -  REMOVE CONCRETE
 -  CLEAR & GRUB TREE

NOTES:
 1. CONTRACTOR SHALL VERIFY ALL CLEAR AND GRUB TREES WITH OWNER PRIOR TO REMOVAL.

5007
 N=204519.752
 E=505164.928



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 10/15/10 LIC. NO.: 41396

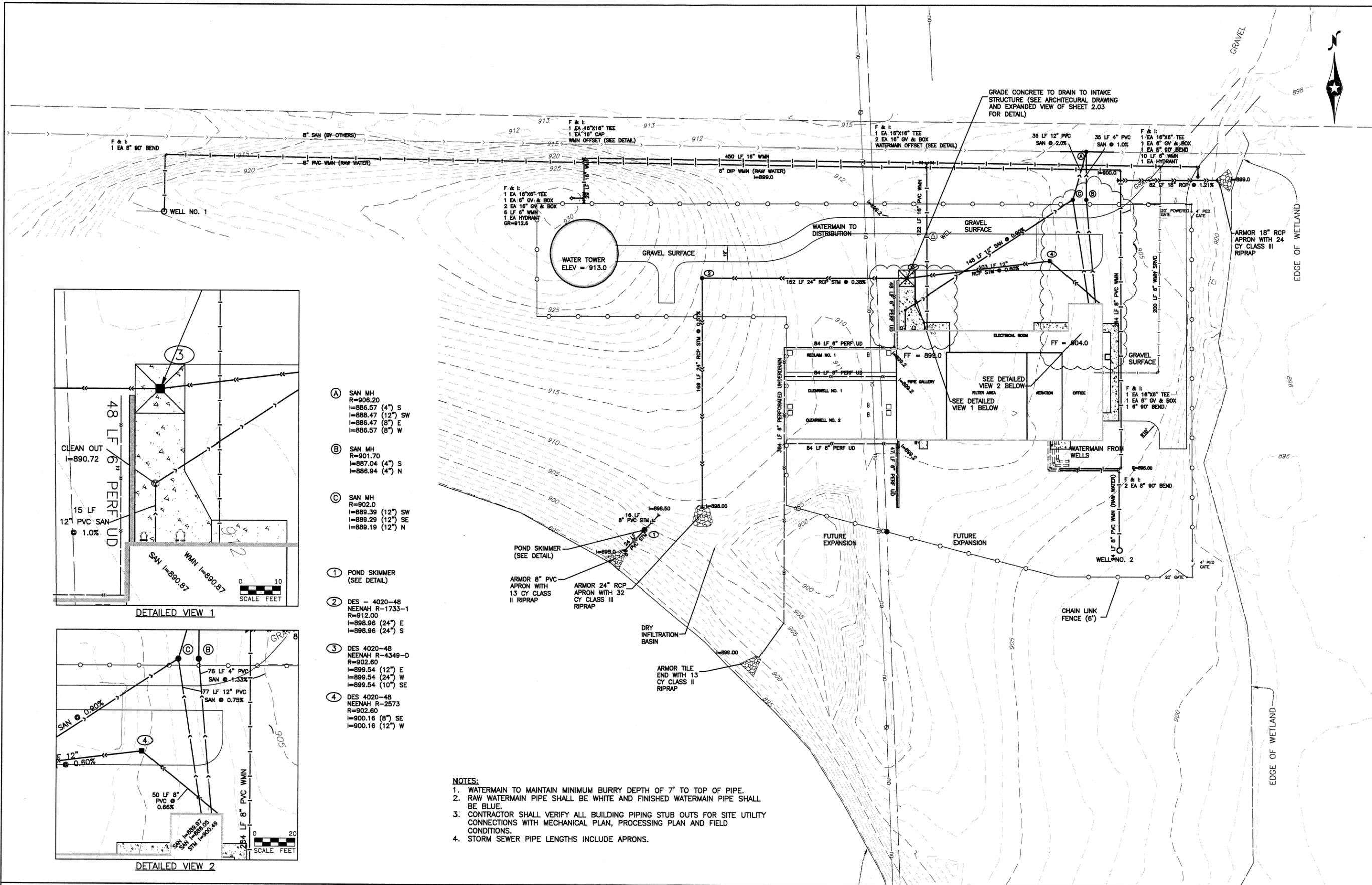
PRINTED NAME: Joel C. Hawbaker

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN WILLMAR, MN
 BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA

REV.	BY	DATE
A	NWS	9-29-10
0	JCH	10-15-10
1	JCH	12-1-10

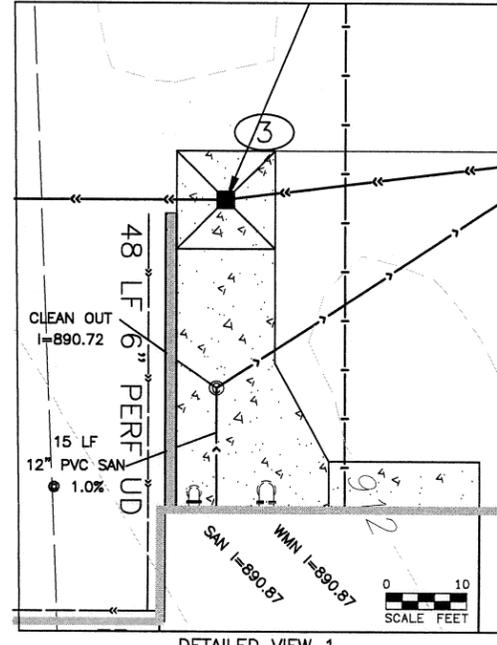
EAST BETHEL, MINNESOTA
WATER TREATMENT FACILITY
SITE PLAN
EXISTING CONDITIONS AND REMOVALS

SHEET
2.01

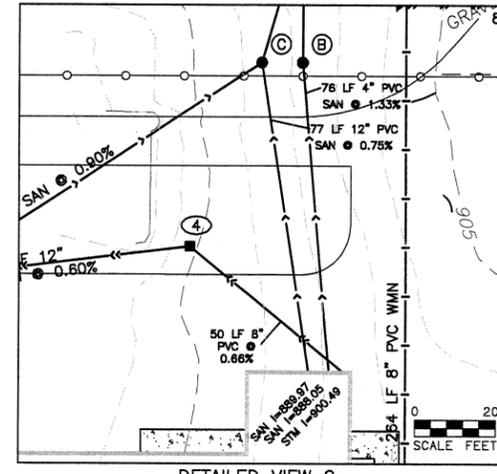


- (A) SAN MH
R=906.20
I=886.57 (4") S
I=888.47 (12") SW
I=886.47 (8") E
I=886.57 (8") W
- (B) SAN MH
R=901.70
I=887.04 (4") S
I=886.94 (4") N
- (C) SAN MH
R=902.0
I=889.39 (12") SW
I=889.29 (12") SE
I=889.19 (12") N
- (1) POND SKIMMER
(SEE DETAIL)
- (2) DES - 4020-48
NEENAH R-1733-1
R=912.00
I=898.96 (24") E
I=898.96 (24") S
- (3) DES 4020-48
NEENAH R-4349-D
R=902.60
I=899.54 (12") E
I=899.54 (24") W
I=899.54 (10") SE
- (4) DES 4020-48
NEENAH R-2573
R=902.60
I=900.16 (8") SE
I=900.16 (12") W

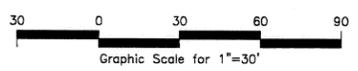
NOTES:
 1. WATERMAIN TO MAINTAIN MINIMUM BURRY DEPTH OF 7' TO TOP OF PIPE.
 2. RAW WATERMAIN PIPE SHALL BE WHITE AND FINISHED WATERMAIN PIPE SHALL BE BLUE.
 3. CONTRACTOR SHALL VERIFY ALL BUILDING PIPING STUB OUTS FOR SITE UTILITY CONNECTIONS WITH MECHANICAL PLAN, PROCESSING PLAN AND FIELD CONDITIONS.
 4. STORM SEWER PIPE LENGTHS INCLUDE APRONS.



DETAILED VIEW 1



DETAILED VIEW 2



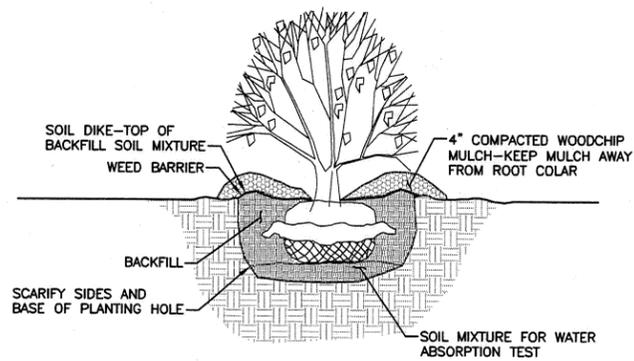
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 SIGNATURE: *Joel C. Hawbaker*
 PRINTED NAME: Joel C. Hawbaker
 DATE: 10/15/10 LIC. NO.: 41396

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN WILLMAR, MN
 BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA

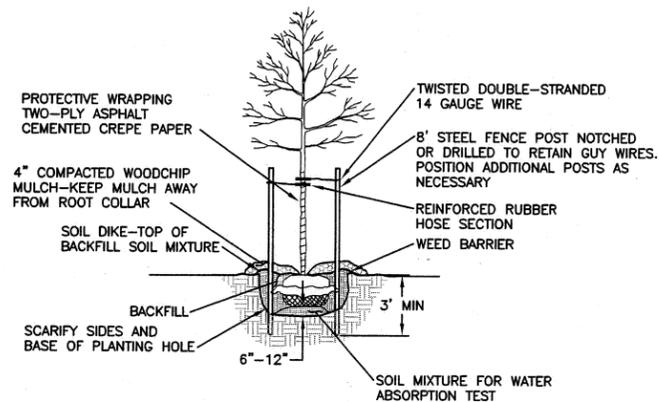
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1	ACR	12-1-10

EAST BETHEL, MINNESOTA
WATER TREATMENT FACILITY
 SITE PLAN
 SITE PIPING

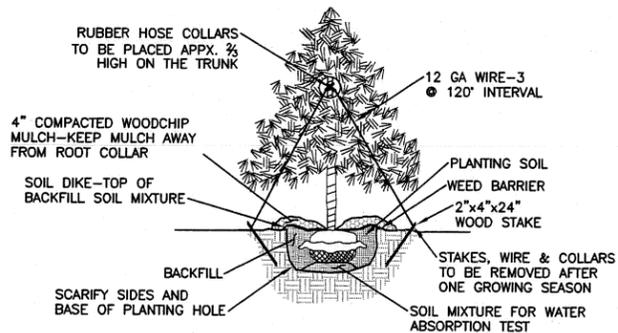
SHEET
2.02



SHRUB PLANTING
NOT TO SCALE



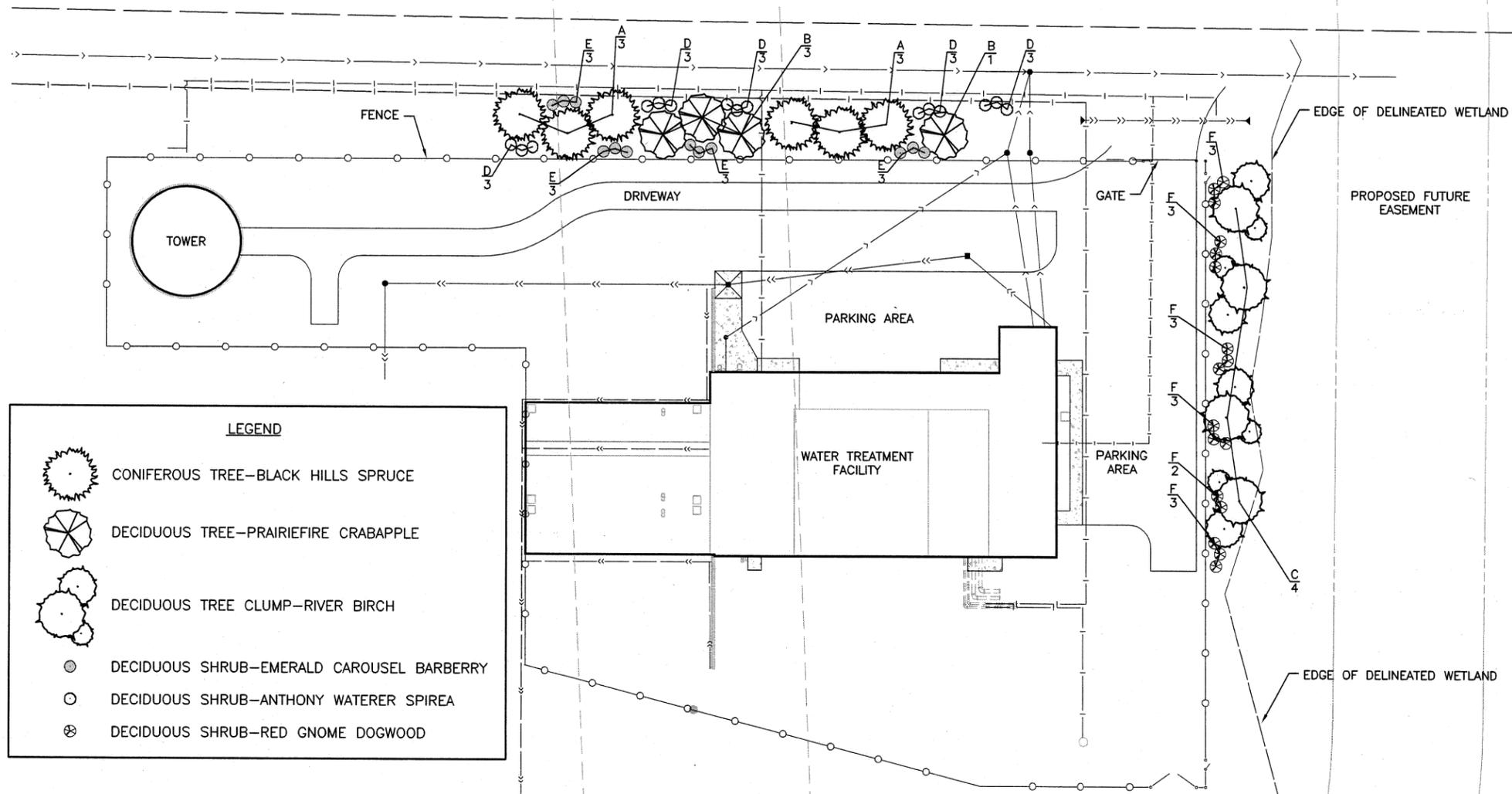
DECIDUOUS TREE PLANTING
NOT TO SCALE



CONIFEROUS TREE PLANTING
NOT TO SCALE

BAG & BALL PLANTING NOTE:

1. REMOVE WRAPPING AND ALL TIES OR STRAPS. IF ROOT BALL IS WRAPPED IN BURLAP THE LOWER 1/2 PORTION OF THE FABRIC MAY BE LEFT AT THE BOTTOM OF THE HOLE. SYNTHETIC WRAP MUST BE REMOVED AND PROPERLY DISPOSED.
2. LOOSEN ROOTS TO ENSURE THEY ARE NOT GIRDLING THE ROOT BALL.
3. SALVAGE AND REUSE ALL SOIL THAT CAME WITH THE ROOT BALL.
4. IF ROOT BALL IS EXTREMELY DRY WATER IT PRIOR TO PLACING IT IN THE HOLE.
5. IF TREE IS CONTAINER GROWN, SALVAGE ALL SOIL AND MIX WITH SUPPLEMENTED SOIL FOR BACK FILL.



LEGEND

- CONIFEROUS TREE—BLACK HILLS SPRUCE
- DECIDUOUS TREE—PRAIRIE FIRE CRABAPPLE
- DECIDUOUS TREE CLUMP—RIVER BIRCH
- DECIDUOUS SHRUB—EMERALD CAROUSEL BARBERRY
- DECIDUOUS SHRUB—ANTHONY WATERER SPIREA
- DECIDUOUS SHRUB—RED GNOME DOGWOOD

GENERAL PLANTING NOTES:

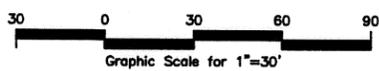
1. PROVIDE AND INSTALL HEALTHY PLANT MATERIALS THAT MEET ALL SPECIFICATIONS AND ARE OF THE SIZE, TYPE AND SPECIES NAMED ON THE PLANT SCHEDULE AND SHOWN ON THE PLANS.
2. DIG PLANT HOLE 1'-0" MINIMUM LARGER ON ALL SIDES THAN ROOT BALL.
3. PRIOR TO PLACING TREE, SCARIFY BOTTOM AND SIDES OF THE PLANTING HOLE.
4. TEST SOIL ABSORPTION. FILL HOLE PARTIALLY WITH SUPPLEMENTED SOIL MIXTURE, ADD WATER AND ALLOW TO PUDDLE AND SETTLE PRIOR TO SETTING TREE.
5. AFTER PUDDLING HAS SETTLED, SET TREE AND BACK FILL WITH SUPPLEMENTED SOIL MIXTURE.
6. WATER THOROUGHLY AND ADD BACK FILL AS NEEDED AFTER MOISTURE IS ABSORBED.
7. BUILD SOIL DIKE AROUND PERIPHERY OF TREE TO HOLD WATER.
8. AFTER SETTLEMENT, MULCH WITH MINIMUM 4" LAYER SHREDDED BARK, WOOD CHIPS OR AS OTHERWISE SPECIFIED. DO NOT PLACE MULCH OVER THE ROOT COLLAR.
9. REMOVE DEAD OR DAMAGED BRANCHES RETAINING THE NATURAL FORM OF THE TREE.
10. FINAL PLACEMENT IN THE FIELD. PLANT SUBSTITUTIONS AS APPROVED BY THE ENGINEER.
11. ARRANGE PLANTING TO AVOID PIPE CONFLICTS.

NOTE:

TREES AND SHRUBS ARE SHOWN ON THE PLAN AT THEIR EXPECTED MATURE SIZE. PLANTS MUST BE SET IN THE FIELD TO ACCOMMODATE MAXIMUM GROWTH AS INDICATED ON THE PLANT SCHEDULE.



PLANT SCHEDULE—WATER TREATMENT FACILITY									
KEY	COMMON NAME	LATIN NAME	TYPE	SIZE	SPACING	QUANTITY	MATURE SIZE	SIGNIFICANT ATTRIBUTES	
EVERGREEN TREES									
A	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	CONIFEROUS TREE	6' B&B	PLAN (20' OC)	6	45' H X 20' W	APPROPRIATE SELECTION FOR MINNESOTA; SCREENING AND WINDBREAK	
DECIDUOUS TREES									
B	PRAIRIE FIRE FLOWERING CRAB	MALUS 'PRAIRIE FIRE'	DECIDUOUS TREE	#25 CONTAINER	PLAN	4	20' H X 20' W	HEARTY, EXCELLENT DISEASE RESISTANCE; SHOWY FLOWERS, FOLIAGE AND FRUIT FOR BIRDS.	
C	RIVER BIRCH (THREE TRUNK CLUMPS)	BETULA NIGRA	DECIDUOUS TREE	#25 CLUMP	PLAN	4	50' H X 40' W	THRIVES IN MOIST SOILS; BEAUTIFUL EXFOLIATING BARK, 4 SEASON INTEREST, DISEASE/PEST RESISTANT	
DECIDUOUS SHRUBS									
D	ANTHONY WATERER SPIREA	SPIREA X BUMALDA 'ANTHONY WATERER'	DECIDUOUS SHRUB	#5 CONTAINER	PLAN	15	3' H X 5' W	EXCELLENT DENSE LOW FLOWERING HEDGE, ROSY FLOWERS ALL SEASON, ATTRACTIVE FALL FOLIAGE	
E	EMERALD CAROUSEL BARBERRY	BERBERIS X 'TARA'	DECIDUOUS SHRUB	#2 CONTAINER	PLAN	12	5' H X 5' W	ROUNDED FORM W/ARCHING BRANCHES, STRIKING FALL COLOR; SPECIMEN, HEDGE OR BARRIER	
F	RED GNOME DOGWOOD	CORNUS ALBA SIBERICA 'REGNZAM'	DECIDUOUS SHRUB	#2 CONTAINER	PLAN	17	4' H X 5' W	COMPACT ROUNDED HABIT, VIVID RD STEM SOLOR.; EXCELLENT FOR MOIST AREAS	



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

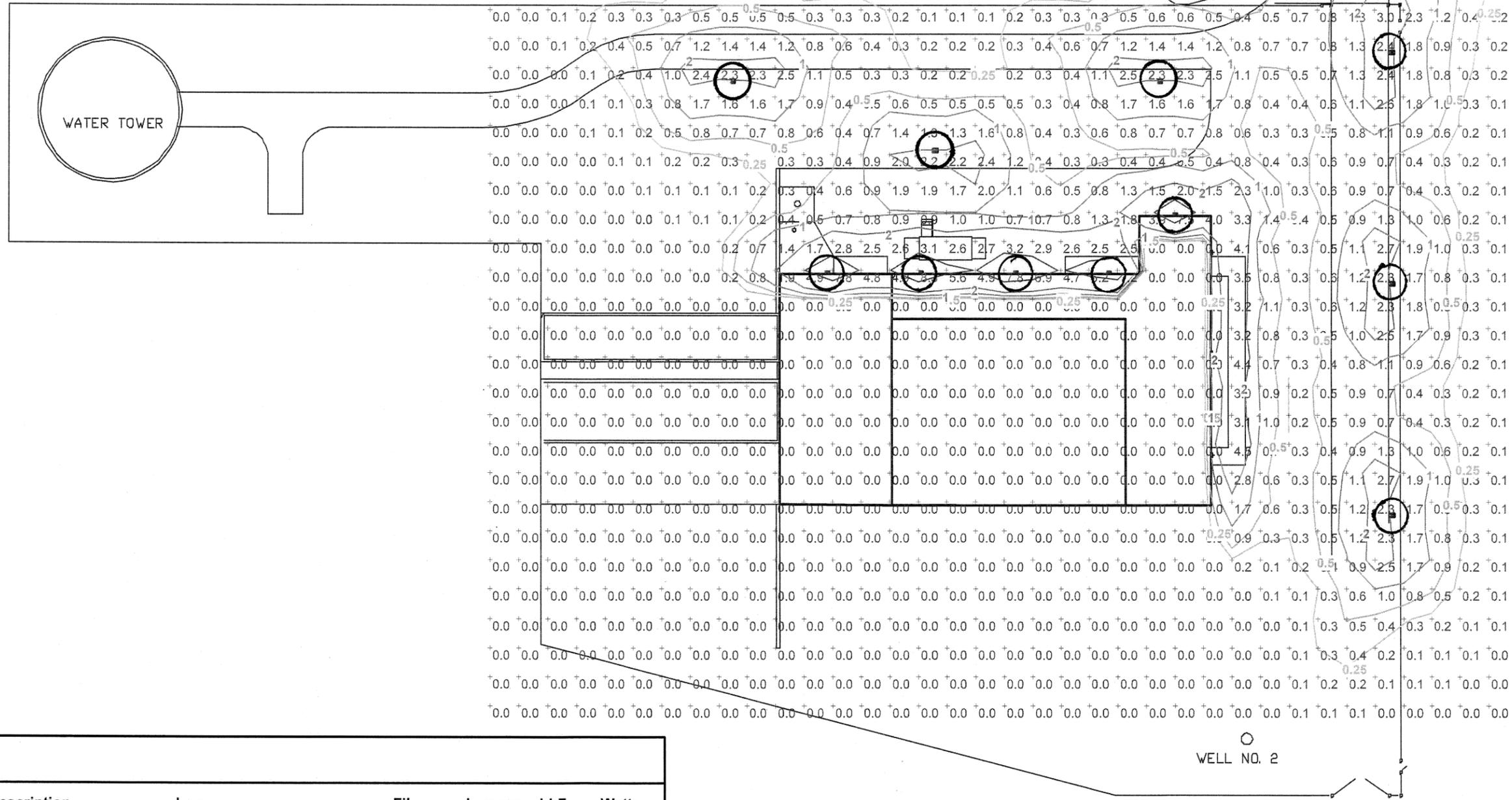
SIGNATURE: *Paul Saffert* PRINTED NAME: Paul Saffert
DATE: 12-16-10 LIC. NO.: 43485

BOLTON & MENK, INC.
Consulting Engineers & Surveyors
MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN
BURNSVILLE, MN WILLMAR, MN CHASKA, MN
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REV.	BY	DATE

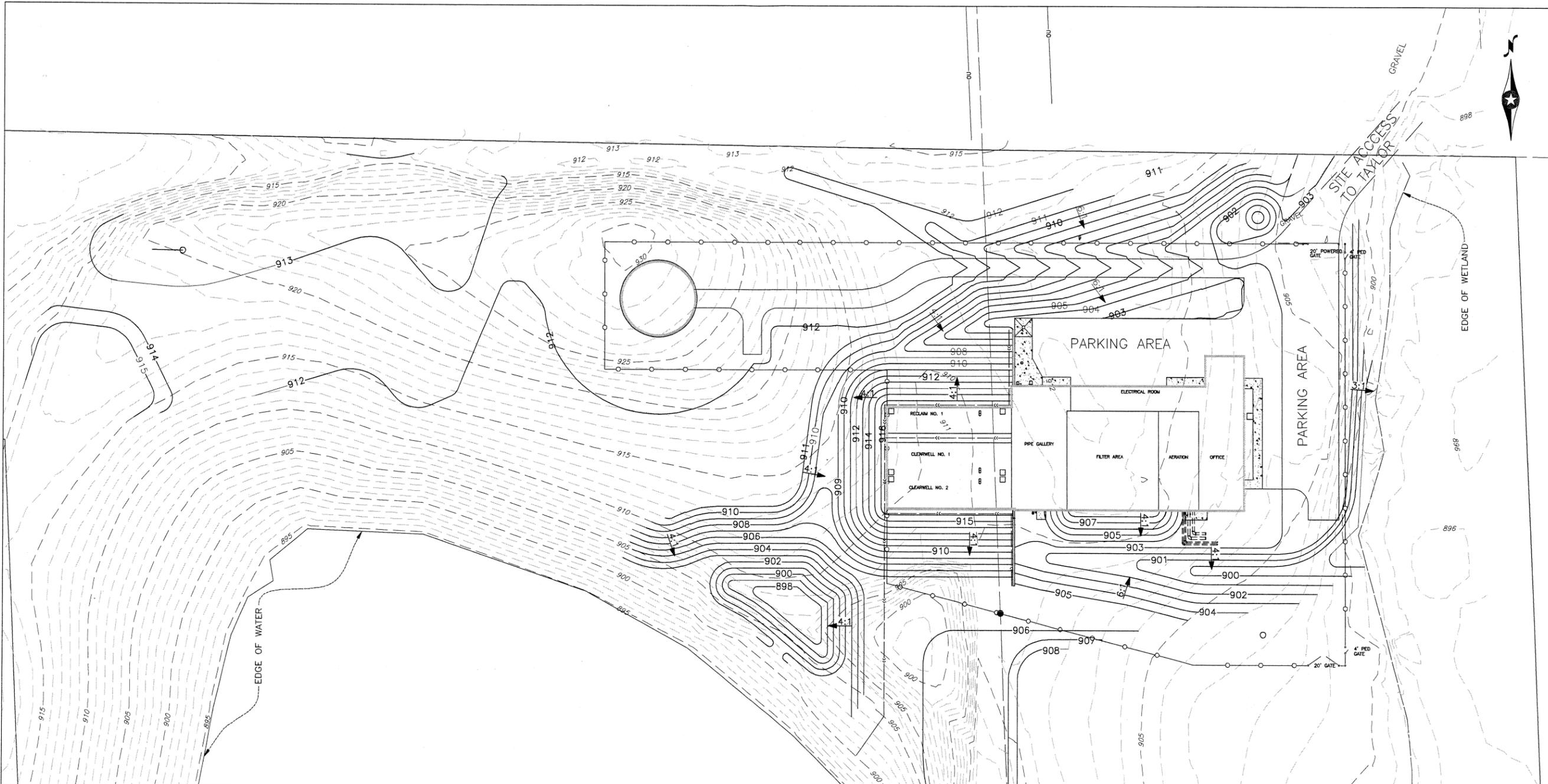
EAST BETHEL, MINNESOTA
WATER TREATMENT FACILITY
LANDSCAPE PLAN

SHEET
9.01



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	A	8	WST 70S WT	ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS. CLEAR LAMP.	ONE 70-WATT CLEAR ED-17 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	LTL11949.IES	6300	1.00	94
■	B	7	KAD 70S R3	DIE CAST SHOEBOX	ONE 70-WATT CLEAR ET-23.5 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	93111903.IES	6300	1.00	94

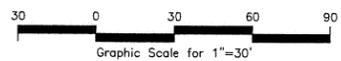
Plan View
Scale 1" = 40'



LEGEND

- | | | | |
|-------|---------------------------------------|------|---|
| --- | EXISTING MAIN CONTOURS | | PROPOSED BUILDING |
| - - - | EXISTING INTERMEDIATE COUNTOURS | | FINISHED CONCRETE SURFACE |
| --- | PROPOSED MAIN CONTOURS | | RIPRAP |
| - - - | PROPOSED INTERMEDIATE CONTOURS | | DRAINAGE DIRECTION AND GRADE |
| —>—> | PROPOSED STORM SEWER | x | FINISHED SPOT ELEVATION |
| —>—> | PROPOSED UNDERDRAIN | TA/B | FINISHED TOP OF AGGREGATE/BIT. ALTERNATE |
| — — | PROPOSED WATERMAIN | TC | FINISHED TOP OF CONCRETE ELEVATION |
| —>—> | PROPOSED SANITARY SEWER | GR | FINISHED GROUND ELEVATION |
| —o—o | PROPOSED CHAIN LINK FENCE (6' HEIGHT) | TW | FINISHED TOP OF RETAINING WALL ELEVATION |
| | | BW | FINISHED BOTTOM OF RETAINING WALL ELEVATION @ SURFACE ELEVATION |
| | | EO | EMERGENCY OVERFLOW ELEVATION |
| | | TC/A | FINISHED TOP OF CONCRETE/AGGREGATE/BIT. ALT. |

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 J:\EASTBETHEL\C12101329\WATER PLANT\REBID EAST BETHEL\101329203rebid-PLANNING.dwg 12/15/10 4:10 pm



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

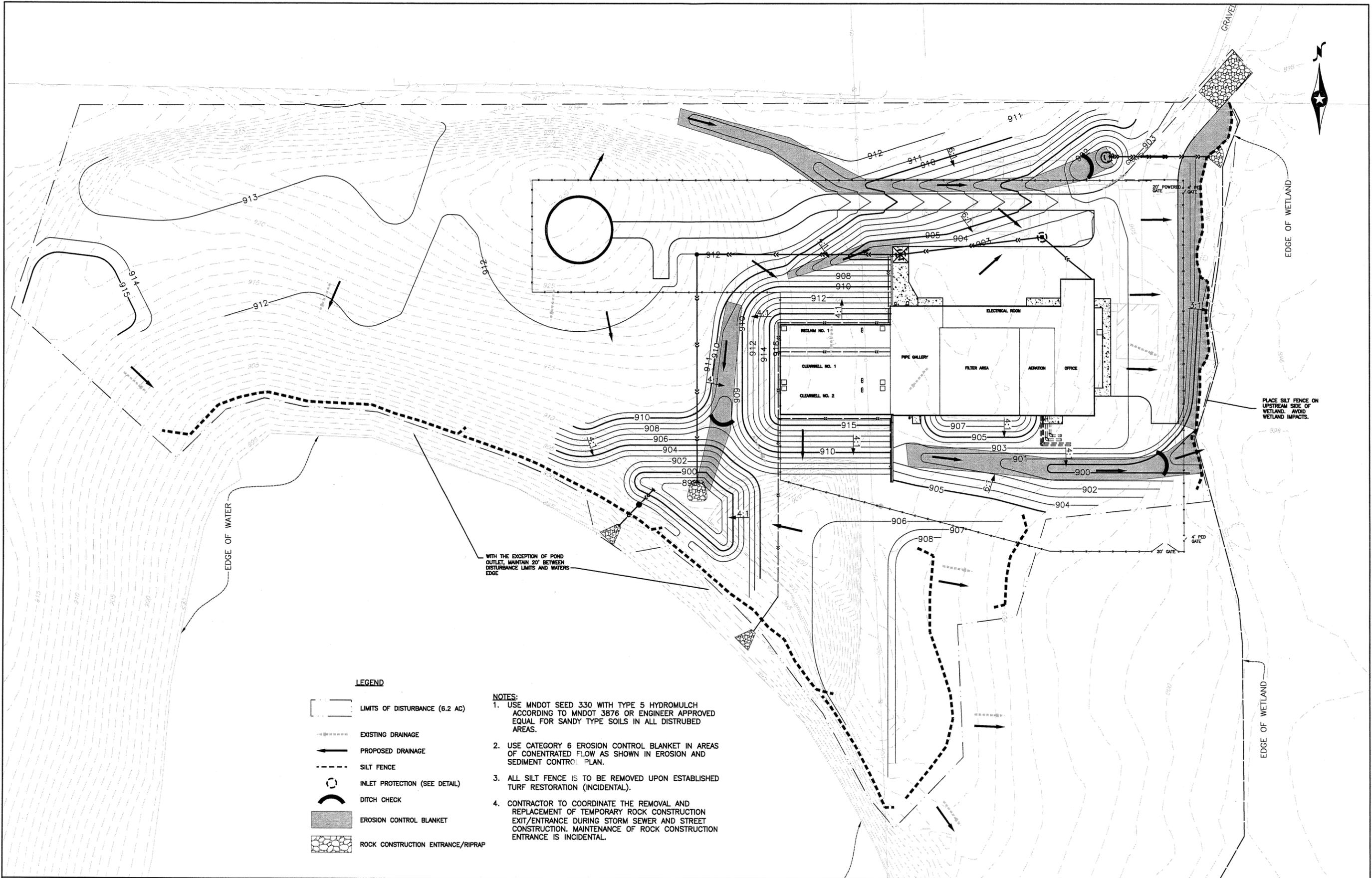
SIGNATURE: *Joel C. Hawbaker* TYPED OR PRINTED NAME: Joel C. Hawbaker
 DATE: 12-1-10 LIC. NO.: 41396

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
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 BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA

REV.	BY	DATE
A	NWS	9-29-10
0	JCH	10-15-10
1	ACR	12-1-10

EAST BETHEL, MINNESOTA
 WATER TREATMENT FACILITY
 SITE PLAN
 GRADING AND UTILITIES

SHEET
 2.03



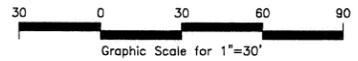
LEGEND

- LIMITS OF DISTURBANCE (6.2 AC)
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- SILT FENCE
- INLET PROTECTION (SEE DETAIL)
- DITCH CHECK
- EROSION CONTROL BLANKET
- ROCK CONSTRUCTION ENTRANCE/RIPRAP

- NOTES:**
1. USE MNDOT SEED 330 WITH TYPE 5 HYDROMULCH ACCORDING TO MNDOT 3876 OR ENGINEER APPROVED EQUAL FOR SANDY TYPE SOILS IN ALL DISTURBED AREAS.
 2. USE CATEGORY 6 EROSION CONTROL BLANKET IN AREAS OF CONCENTRATED FLOW AS SHOWN IN EROSION AND SEDIMENT CONTROL PLAN.
 3. ALL SILT FENCE IS TO BE REMOVED UPON ESTABLISHED TURF RESTORATION (INCIDENTAL).
 4. CONTRACTOR TO COORDINATE THE REMOVAL AND REPLACEMENT OF TEMPORARY ROCK CONSTRUCTION EXIT/ENTRANCE DURING STORM SEWER AND STREET CONSTRUCTION. MAINTENANCE OF ROCK CONSTRUCTION ENTRANCE IS INCIDENTAL.

WITH THE EXCEPTION OF POND OUTLET, MAINTAIN 20' BETWEEN DISTURBANCE LIMITS AND WATERS EDGE

PLACE SILT FENCE ON UPSTREAM SIDE OF WETLAND. AVOID WETLAND IMPACTS.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE: 10/15/10 LFC. NO. 41396

PRINTED NAME: Joel C. Hawbaker

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN WILLMAR, MN
 BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA

REV.	BY	DATE
A	NWS	9-29-10
0	JCH	10-15-10
1	JCH	12-1-10

EAST BETHEL, MINNESOTA
WATER TREATMENT FACILITY
STORM WATER POLLUTION PREVENTION PLAN
EROSION AND SEDIMENT CONTROL PLAN

ABBREVIATIONS LEGEND

∠	ANGLE	EQ.	EQUAL	OVHD.	OVERHEAD
○	CENTERLINE	EST.	ESTIMATED	OPNG.	OPENING
□	PLATE	EXST.	EXISTING	P. LAM.	PLASTIC LAMINATE
⊙	DIAMETER	EXT.	EXTERIOR	PEDEST.	PEDESTAL
°	DEGREES	F.E.	FIRE EXTINGUISHER	P.J.	PANEL JOINT
A.B.	ANCHOR BOLT	F.E. CAB.	FIRE EXTINGUISHER CABINET	PLUMB.	PLUMBING
A.C.T.	ACOUSTICAL CEILING TILE	FIN.	FINISH	PLYWD.	PLYWOOD
ACC.	ACCESSIBLE	FLR.	FLOOR	PREFIN.	PREFINISHED
A.LUM.	ALUMINUM	FND.	FOUNDATION	P.T.	PRESSURE TREATED
APPROX.	APPROXIMATE	F.O.M.	FACE OF MASONRY	QUARRY TILE	QUARRY TILE
ARCH.	ARCHITECTURAL	F.O.S.	FACE OF STUD	R.W.L.	RAINWATER LEADER
BD.	BOARD	F.O.W.	FACE OF WALL	REINFC.	REINFORCED
BLDG.	BUILDING	F.R.P.	FIBERGLASS-REINFORCED PLASTIC	REDD.	REQUIRED
BLK.	BLOCK	FT.	FEET	R.H.	RIGHT-HAND
BLKG.	BLOCKING	F.T.	FIRE-RETARDANT TREATED	R.H.R.	RIGHT-HAND REVERSE
B.O.	BOTTOM OF	FTG.	FOOTING	R.O.	ROUGH OPENING
BTWN.	BETWEEN	GA.	GAUGE	SECT.	SECTION
CAB.	CABINET	GALV.	GALVANIZED	SHT.	SHEET
CARP.	CARPET	G.C.	GENERAL CONTRACTOR	S.M.S.	SHEET METAL SCREW
C.B.	CATCH BASIN	GYP. BD.	GYP. BOARD	SPEC.	SPECIFICATION
C.J.	CONTROL JOINT	HGT.	HEIGHT	SQ. FT.	SQUARE FEET
CLG.	CEILING	H.M.	HOLLOW METAL	S.S.	STAINLESS STEEL
C.M.U.	CONCRETE MASONRY UNIT	HORIZ.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	H.V.A.C.	HEATING, VENTILATION, AND AIR CONDITIONING	STL.	STEEL
COMBO.	COMBINATION	INSUL.	INSULATION	STRUC.	STRUCTURAL
CONC.	CONCRETE	INT.	INVERT	SUSP.	SUSPENDED
CONST.	CONSTRUCTION	JOINT	JOINT	SYS.	SYSTEM
CONT.	CONTINUOUS	L.H.	LEFT-HAND	T.M.	TOP OF MASONRY
C.T.	CERAMIC TILE	L.H.R.	LEFT-HAND REVERSE	T.O.S.	TOP OF STEEL
D.	DEPTH	MATL.	MATERIAL	T.P.	TOILET PAPER
DBL.	DOUBLE	MAX.	MAXIMUM	T.S.	TUBE STEEL
DISP.	DISPENSER	M.D.F.	MEDIUM DENSITY FIBERBOARD	TYP.	TYPICAL
D.L.O.	DAYLIGHT OPENING	MECH.	MECHANICAL	U.N.O.	UNLESS NOTED OTHERWISE
DN.	DOWN	MFR.	MANUFACTURER	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWNSPOUT	MIN.	MINIMUM	VERT.	VERTICAL
DTL.	DETAIL	MIS.	MISCELLANEOUS	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	M.O.	MASONRY OPENING	V.V.C.	VINYL WALL COVERING
EA.	EACH	M.T.	MOUNT	W.	WIDTH
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	MTL.	METAL	W/O	WITHOUT
E.J.	EXPANSION JOINT	N/A	NOT APPLICABLE	W.C.	WATER CLOSET
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	W.C.	WOOD
ELEV.	ELEVATION	O.A.	OVERALL	W.H.	WATER HEATER
		O.C.	ON CENTER	W.S.	WATER SOFTENER
		O.D.	OUTSIDE DIAMETER	W.W.M.	WELDED WIRE MESH
		OPP. HND.	OPPOSITE HAND		

SYMBOLS LEGEND

	ENLARGED DRAWING BUBBLE		VERTICAL ELEVATION MARKER
	KEYED NOTE MARKER		ROOM NAME/NUMBER
	SECTION MARKER		DOOR/WINDOW NUMBER
	WALL TYPE MARKER		

	BATT INSULATION		EARTH		POURED CONCRETE
	BRICK		METAL		RIGID INSULATION BOARD
	CONCRETE MASONRY UNIT		PLYWOOD		SAND/FILL MATERIAL

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS OR ORDINANCES.
- REFER TO INDIVIDUAL DRAWINGS WITHIN THIS SET OF CONSTRUCTION DOCUMENTS FOR ADDITIONAL GENERAL NOTES.
- DIMENSION NOTES:
 - ALL GRIDS AT EXTERIOR WALLS LINE UP WITH OUTSIDE FACE OF FOUNDATION
 - ALL EXTERIOR WALLS DIMENSIONED TO OUTSIDE FACE OF C.M.U. UNLESS OTHERWISE NOTED
 - ALL MASONRY OPENINGS ARE NOMINAL DIMENSIONS
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED AND SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO CONTINUING WITH THE AFFECTED PORTIONS OF THE WORK
- ANY DIMENSIONS, DETAILS, NOTES OR SYMBOLS THAT APPLY TO ONE UNIT, APPLIES TO ALL UNITS LIKE SITUATIONS UNLESS NOTED OTHERWISE
- THE STATED DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE THE DRAWINGS. THE OWNER SHOULD BE NOTIFIED OF ANY DISCREPANCIES
- THE CONTRACTOR SHALL VISIT THE JOB SITE, VERIFY EXISTING CONDITIONS AND NOTIFY BOLTON & MENK OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID AND/OR BEGINNING ANY CONSTRUCTION WORK
- CLEANING: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF CONSTRUCTION DEBRIS & TRASH. REMOVE ALL COMBUSTIBLE RUBBISH DURING CONSTRUCTION FROM THE BUILDING CONTINUOUSLY AND DISPOSE OF IN A LEGAL MANNER. COMMERCIAL DUMPSTERS OR CONTAINERS WITH A CAPACITY OF ONE-AND-OBJECTIVE-HALF CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN FIVE-FOOT OF COMBUSTIBLE WALL OPENINGS OR ROOF EAVE LINES
- ALL EXTERIOR LANDINGS TO BE FLUSH WITH FINISHED FLOOR AND SLOPE AWAY FROM THE FACE OF BUILDING TO PROVIDE POSITIVE DRAINAGE, TYPICAL
- SAFETY GLAZING SHOULD BE PROVIDED AT HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 8" OF WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS
- ALL EXIT DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT. A READILY VISIBLE SIGN SHALL BE ADJACENT
 - TO THE DOORWAY STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"
- VERIFY LOCATION, SIZE AND WALL THICKNESS REQUIRED TO RECESS MECHANICAL AND ELECTRICAL ITEMS AND MAINTAIN FIRE RATING REQUIREMENTS
 - OF THE WALL (IF REQUIRED) AT THESE BUILT-INS: UNIT HEATERS, CONVECTORS, ELECTRICAL PANELS, FIRE EXTINGUISHERS, CABINETS, DUCTS, PIPING
- AND ALL OTHER SUCH RECESSES
- USE ONLY NON-CORROSIVE FASTENERS ON ANY PRESSURE TREATED LUMBER
- GENERAL CONTRACTOR REQUIRED TO PROVIDE NECESSARY BLOCKING FOR ALL OWNER PROVIDED SIGNAGE AND TABLE SUPPORTS
- FOR ALL AIR CONDITIONING, EXHAUST & SUPPLY FANS, HVAC & REFRIGERATION EQUIPMENT CURBS, GENERAL CONTRACTOR SHALL PROVIDE & INSTALL SUITABLE BLOCKING IN WALLS & CEILING TO SUPPORT FIXTURES, EQUIPMENT & CANOPIES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE OWNER UPON COMPLETION OF THE PROJECT
- FIRE EXTINGUISHER REQUIREMENTS SHALL BE AS DETERMINED BY FIELD INSPECTION AND NFPA 10. THE CONTRACTOR SHALL SUPPLY ALL THE FIRE EXTINGUISHERS
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF THE BUILDING AND SHALL BE VISIBLE AND LEGIBLE FROM THE PUBLIC RIGHT-OF-WAY. SAID NUMBERS SHALL CONTRAST VISUALLY WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDED BY THE CONTRACTOR
- AT THE TIME OF BUILDING COMPLETION, THE BUILDING IS TO BE THOROUGHLY CLEANED PRIOR TO BUILDING TURNOVER TO OWNER
- REFER TO 3.XX SERIES DRAWINGS FOR PAD AND CURB LOCATIONS, DETAILS AND SIZES

APPLICABLE CODES: CITY OF: EAST BETHEL, MN

BUILDING CODE: 2007 MINNESOTA STATE BUILDING CODE (2006 IBC)
 ELECTRICAL CODE: 2008 NATIONAL ELECTRIC CODE
 MECHANICAL CODE: 2007 MINNESOTA STATE MECHANICAL CODE (2006 IMC)
 PLUMBING CODE: 2009 MINNESOTA STATE PLUMBING CODE
 FIRE CODE: 2007 MINNESOTA STATE FIRE CODE (2006 IFC)
 ACCESSIBILITY CODE: 2007 MINNESOTA STATE ACCESSIBILITY CODE, CHAPTER 1341

CHAPTER 3: USE OR OCCUPANCY

SECTION	USE GROUP/CONSTRUCTION TYPE	DESCRIPTION/PROPOSED S.F.
306.3	GROUP F-2 / TYPE II-B (GROUP H-2 NOT REQUIRED BASED ON <500 GALLONS OF HAZARDOUS MATERIAL PER TABLE 307.1)	2 STORY BUILDING HABITABLE AREA = 12,052 S.F. NON-HABITABLE AREA = 11,114 S.F. TOTAL AREA COMBINED = 23,166 S.F.

CHAPTER 5: GENERAL BUILDING LIMITATIONS

SECTION	DESCRIPTION	VALUE
503	BASIC ALLOWABLE AREA (F-2)	At = 23,000 S.F.
506	ALLOWABLE AREA INCREASES	
506.2	(EQUATION 5-2) $I_f = 100 [F/P - 0.25] W/30$ F = BUILDING PERIMETER WHICH FRONTS ON A PUBLIC WAY HAVING 20 FEET OPEN MINIMUM WIDTH P = PERIMETER OF ENTIRE BUILDING W = MINIMUM WIDTH OF PUBLIC WAY OR OPEN SPACE If = AREA INCREASE DUE TO FRONTAGE	F = 670'-8" P = 670'-8" W = 30'-0" If = 75%
506.1	(EQUATION 5-1) $A_a = A_t + [A_t / 100] + [A_t / 100]$ Is = AREA INCREASE DUE TO SPRINKLER PROTECTION Aa = ALLOWABLE AREA PER FLOOR	Is = 0 Aa = 40,250 S.F.
HABITABLE AREA PROPOSED		12,052 S.F.
ALLOWABLE HEIGHT		3 STORIES
PROPOSED HEIGHT		2 STORIES

CHAPTER 6: TYPES OF CONSTRUCTION

BUILDING ELEMENT	RATING
STRUCTURAL FRAMING	0
BEARING WALLS - EXTERIOR	0
BEARING WALLS - INTERIOR	0
NONBEARING WALLS - EXTERIOR	0
NONBEARING WALLS - INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

CHAPTER 10: GENERAL MEANS OF EGRESS

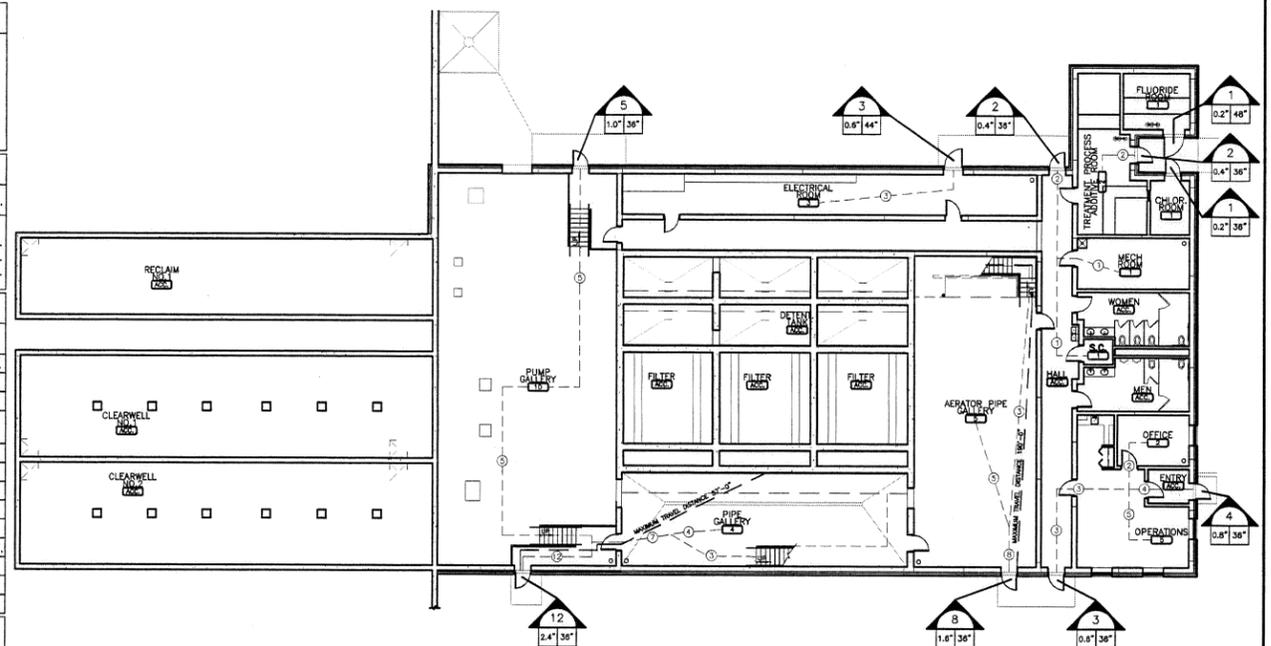
OCCUPANCY	AREA	OCC. LOAD FACTOR	OCCUPANTS
GROUND LEVEL			
FLUORIDE ROOM	147 S.F.	300 S.F./OCC	1
TREATMENT PROCESS	342 S.F.	300 S.F./OCC	2
ADDITIVE ROOM	85 S.F.	300 S.F./OCC	1
CHLORINE ROOM	220 S.F.	300 S.F./OCC	1
MECHANICAL ROOM	220 S.F.	300 S.F./OCC	1
WOMEN		ACCESSORY USE	0
SUPPLY CLOSET	30 S.F.	300 S.F./OCC	1
MEN		ACCESSORY USE	0
OFFICE	140 S.F.	100 S.F./OCC	2
ENTRY		ACCESSORY USE	0
OPERATIONS	440 S.F.	100 S.F./OCC	5
HALL		ACCESSORY USE	0
AERATOR PIPE GALLERY	1,487 S.F.	300 S.F./OCC	5
PIPE GALLERY	1,049 S.F.	300 S.F./OCC	4
ELECTRICAL ROOM	665 S.F.	300 S.F./OCC	3
PUMP GALLERY	2,752 S.F.	300 S.F./OCC	10
UPPER LEVEL			
AERATOR MEZZANINE	1,505 S.F.	300 S.F./OCC	6
SERVICE WALKWAY		ACCESSORY USE	0
SERVICE WALKWAY		ACCESSORY USE	0
TOTAL OCCUPANT LOAD			41 OCCUPANTS

EXIT REQUIREMENTS

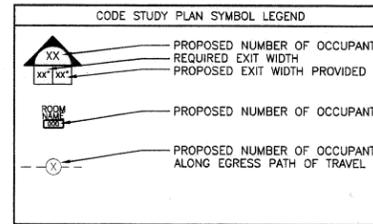
SECTION	REQUIREMENT
1005.1	CAPACITY OF EGRESS COMPONENTS
	DOOR OPENINGS
	STAIRWAY WIDTH
	MAXIMUM TRAVEL DISTANCE ALLOWED
	MAXIMUM TRAVEL DISTANCE PROVIDED
	GROUND LEVEL
	UPPER LEVEL

MINNESOTA STATE PLUMBING CODE

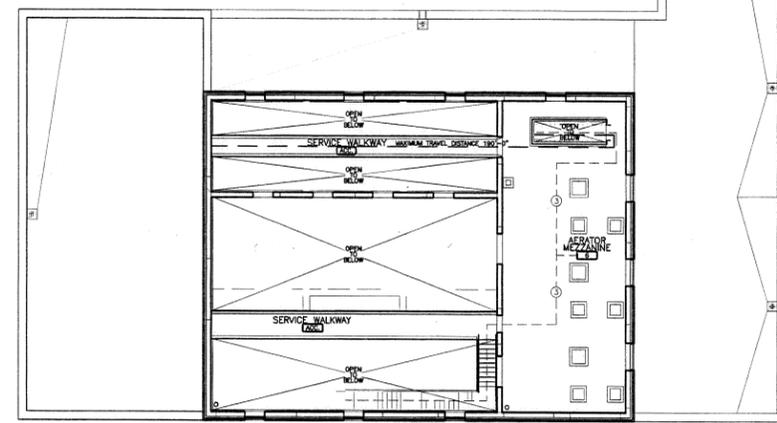
TABLE 403.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES			
WATER CLOSETS	1 PER 100	1 REQUIRED	4 WC PROVIDED - WOMENS 2 WC/2 U PROVIDED - MENS
LAVATORIES	1 PER 100	1 REQUIRED	2 PROVIDED - WOMENS 2 PROVIDED - MENS
DRINKING FOUNTAIN	1 PER 400	1 REQUIRED	2 PROVIDED
SERVICE SINK	-	1 REQUIRED	1 PROVIDED



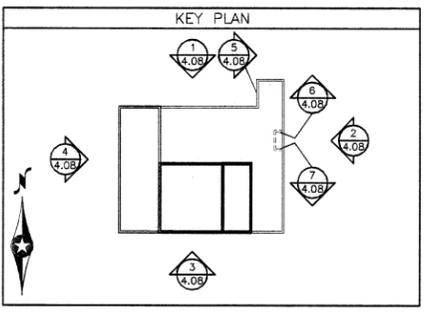
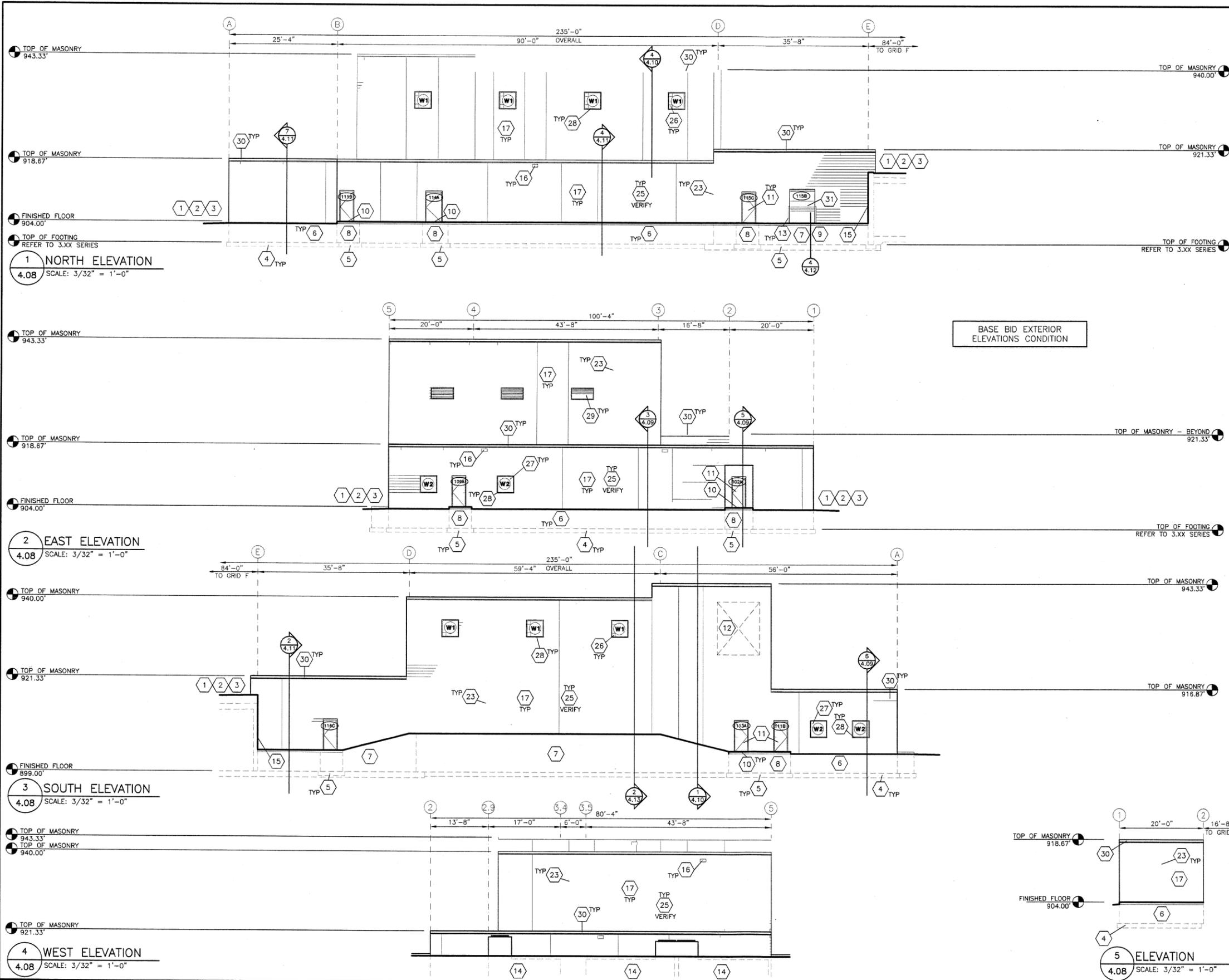
1 LOWER LEVEL CODE STUDY
4.01 SCALE: 1/16" = 1'-0"



2 UPPER LEVEL CODE STUDY
4.01 SCALE: 1/16" = 1'-0"



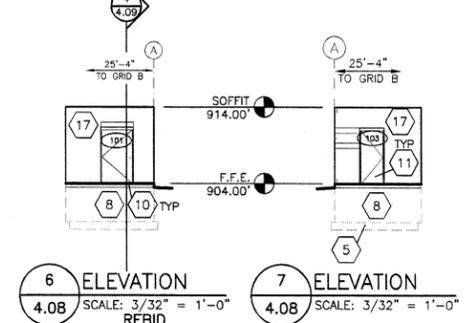
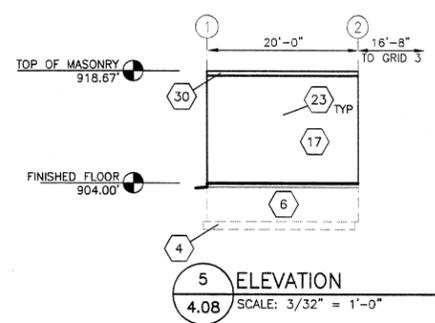
Attachment #10



EXTERIOR ELEVATION LEGEND NOTES:

- 1 REFER TO 2.XX SERIES DRAWINGS FOR SITE CONDITIONS
- 2 PROVIDE ADEQUATE POSITIVE DRAINAGE AWAY FROM PROPOSED FACE OF BUILDING - REFER TO 2.XX SERIES DRAWINGS FOR INFORMATION
- 3 REFER TO 2.XX SERIES DRAWINGS FOR LANDSCAPING INFORMATION
- 4 CONTINUOUSLY REINFORCED CONCRETE STRIP FOOTING - REFER TO 3.XX SERIES DRAWINGS FOR ADDITIONAL INFORMATION
- 5 CONTINUOUSLY REINFORCED CONCRETE STOOP FOOTING - REFER TO 3.XX SERIES DRAWINGS FOR ADDITIONAL INFORMATION
- 6 CONCRETE MASONRY UNIT FOUNDATION WALL - REFER TO 3.XX SERIES DRAWINGS FOR VERTICAL AND HORIZONTAL REINFORCING
- 7 CAST-IN-PLACE CONCRETE FOUNDATION WALL - REFER TO 3.XX SERIES DRAWINGS FOR VERTICAL AND HORIZONTAL REINFORCING
- 8 CONCRETE STOOP WITH 6X6 W1.4XW1.4 W.W.M. - SLOPE AWAY FROM PROPOSED FACE OF BUILDING AT 1/8" PER 12" MINIMUM
- 9 6" CONCRETE APRON PAD WITH 6X6 W1.4XW1.4 W.W.M. - SLOPE AWAY FROM PROPOSED FACE OF BUILDING AT 1/8" PER 12" MINIMUM - REFER TO 3.XX SERIES FOR SIZING
- 10 METAL THRESHOLD - 1/2" MAXIMUM RISE WITH BEVELED SIDES THAT SLOPE 1:2 MAXIMUM
- 11 INSULATED HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH ADJACENT BRICK COLOR
- 12 KNOCKOUT PANEL LOCATION - REFER TO SERIES 3.XX FOR ADDITIONAL INFORMATION
- 13 4"x4"x1/4" ANGLE TO 4'-0" ABOVE FINISH FLOOR ELEVATION TO PROTECT JAMB CORNER - PAINT TO MATCH ADJACENT BRICK COLOR
- 14 CONCRETE CURB FOR BELOW GRADE TANKS WITH ACCESS HATCHES
- 15 RETAINING WALL
- 16 PREFINISHED METAL OVERFLOW SCUPPER
- 17 ROCKFACE BLOCK
- 18 NOT USED
- 19 NOT USED
- 20 NOT USED
- 21 NOT USED
- 22 NOT USED
- 23 MASONRY EXPANSION JOINT - JOINT CAULK TO MATCH ADJACENT BRICK COLOR - REFER TO 3.XX SERIES DRAWINGS FOR ADDITIONAL INFORMATION
- 24 HOSE BIBB LOCATION - REFER TO 6.XX SERIES DRAWINGS FOR FINAL LOCATION AND ADDITIONAL INFORMATION
- 25 ALL BUILDING MOUNTED LIGHT FIXTURES TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR - REFER TO 7.XX SERIES DRAWINGS FOR ADDITIONAL INFORMATION
- 26 THERMALLY BROKEN ANODIZED ALUMINUM WINDOW FRAMING WITH TRANSLUCENT WINDOW PANEL
- 27 THERMALLY BROKEN ANODIZED ALUMINUM WINDOW W/1" INSULATED GLASS
- 28 ANODIZED ALUMINUM WINDOW SILL FLASHING - COLOR TO MATCH WINDOW FRAME
- 29 PREFINISHED METAL MECHANICAL LOUVER/EXHAUST FAN - REFER TO 6.XX SERIES DRAWINGS FOR ADDITIONAL INFORMATION - LOCATION SHOWN FOR REFERENCE PURPOSE ONLY
- 30 PREFINISHED METAL CAP ON PARAPET
- 31 PREFINISHED METAL INSULATED COILING DOOR

BASE BID EXTERIOR ELEVATIONS CONDITION



<p>11802 Valley View Road Eden Prairie, MN 55344 P. 952-941-8888 F. 952-941-2333</p>	<p>I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA</p> <p>JEFFREY M. RAPP 12-01-10 22274</p>	<p>BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FARMINGTON, MN SLEEPY EYE, MN WILLMAR, MN BURNSVILLE, MN CHASKA, MN RAMSEY, MN AMES, IA</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REV.</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>0</td> <td>MWA</td> <td>10-15-10</td> </tr> <tr> <td>1</td> <td>MWA</td> <td>12-01-10</td> </tr> </table> <p style="text-align: center;">EAST BETHEL, MINNESOTA WATER TREATMENT FACILITY EXTERIOR ELEVATIONS - (BASE BID)</p>	REV.	BY	DATE	0	MWA	10-15-10	1	MWA	12-01-10
REV.	BY	DATE										
0	MWA	10-15-10										
1	MWA	12-01-10										
			<p>SHEET 4.08</p>									

Attachment #11

EAST BETHEL PLANNING COMMISSION MEETING

November 23, 2010

The East Bethel Planning Commission met on November 23, 2010 at 7:00 P.M for their regular meeting at City Hall.

MEMBERS PRESENT: Eldon Holmes Julie Moline Lori Pierson Lorraine Bonin
Heidi Moegerle Glenn Terry

MEMBERS ABSENT: Tim Landborg

ALSO PRESENT: Stephanie Hanson, City Planner
Steve Voss, City Council Member

Adopt Agenda The November 23, 2010 meeting was called to order by Chairperson Holmes at 7:02 P.M.

Pierson made a motion to adopt the November 23, 2010 agenda. Terry seconded; all in favor, motion carries.

Public Hearing: Interim Use Permit

A request by owner/applicant, Our Savior's Lutheran Church, to obtain an Interim Use Permit to continued use of the property as a worship center. The location being 1562 and 1644 Viking Blvd. NE, East Bethel, MN 55011, PIN 29 33 23 41 0001 and 29 33 23 41 0002. The zoning classification is CC – City Center District.

Property Owner/Applicant:

Cynthia Delmonico
Our Saviour's Lutheran Church
19001 Jackson Street NE
East Bethel, MN

Property Location:

1562 and 1644 Viking Blvd. NE
East Bethel, MN
PINs: 29-33-23-41-0001
29-33-23-41-0002

The property owner is requesting an IUP for the continued use of the property located at 1562 and 1644 Viking Blvd. NE, East Bethel, as a place of worship as defined by city code. Place of worship is defined as, "*A building, together with its accessory buildings and uses, where persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship.*"

Our Saviour's Lutheran Church used the property on Viking Blvd. as a place of worship for approximately 70 years. About 5½ years ago, a new facility was built at 19001 Jackson Street and worship services moved to the new facility. The property on Viking Blvd. continued to be used for other uses accessory to a place of worship such as a daycare center and food shelf.

In 2007, Zoning Ordinance 203 was approved by City Council. As part of the new zoning code, place of worship was not a permitted use in the City Center District. This resulted in the property owned by Our Saviour's Lutheran Church on Viking Blvd. to become a legal, non-conforming use.

MN State Statute and East Bethel City Code states that legal non-conforming uses may be continued unless the non-conforming use or occupancy is discontinued for a period of more than one year. Because Our Saviour's Lutheran Church discontinued worship services over five years ago at the Viking Blvd. property, it was questioned if the property could still be used as a place of worship. The property has been on the market for sale for many years, with

interest from other places of worship to purchase the property. After many conversations with the city's legal council and Our Saviour's Lutheran Church's legal council, it was determined to allow places of worship in the CC District with an IUP.

Ordinance 27, Second Series was approved by the City Council at its regular scheduled meeting on November 3, 2010, which allows places of worship in the CC District with an approved IUP.

If the IUP is approved, a Certificate of Occupancy must be issued prior to occupying the existing structure. The Certificate of Occupancy must be issued within one (1) year of new ownership. It is the responsibility of the property owner to contact city staff to schedule inspections with the building and fire departments. Also, required permitting must be obtained prior to any modifications, repairs, etc. to the existing structure.

City Staff requests Planning Commission to recommend approval to the City Council of an IUP that will allow a place of worship in the CC District. The property being located at 1562 and 1644 Viking Blvd., East Bethel, PINs 29-33-23-41-0001 and 29-33-23-41-0002 with the following conditions:

1. An Interim Use Permit Agreement must be executed no later than February 1, 2011.
2. The property is to be used as a place of worship where persons regularly assemble for religious worship. Regular worship services must be conducted at a minimum of one (1) day per month. Discontinuing regular worship services for more than one (1) year shall terminate the IUP. Regular worship services must be conducted starting one (1) year after the transaction of new ownership takes place.
3. Expansion of the place of worship and/or its accessory uses will require a site plan review before the Planning Commission and approved by City Council. Expansion of the uses on the site must meet requirements set forth in city code at the time of the submittal of the site plan review.
4. It is the responsibility of the property owner to obtain required permitting from the City of East Bethel prior to modifications, repairs, etc. to the existing structure.
5. A Certificate of Occupancy must be issued prior to occupying the existing facilities. The existing facilities must be inspected by the City of East Bethel Building Safety Department and Fire Department.
6. Once a Certificate of Occupancy is issued, the place of worship must submit to city staff detailed documentation of the use of the building for the prior year. This documentation must be submitted by January 31 of each year.
7. The IUP would transfer with the property to all future owners.

The public hearing was opened at 7:03 p.m.

Sherry Allenspach, 3427 217th Avenue NE, East Bethel, MN. She is here to thank the Planning Commission and City Council for everything and answer questions. Our Saviour's was hoping by tonight that there would be a purchase order with the prospective buyer. The new owner would like to take occupancy January 1, 2011.

Holmes asked for clarification about the permit, would it be issued for Our Saviour's. Hanson clarified that it would be for the property. Allenspach said they are aware of the issues with the IUP. Hanson reiterated the IUP would go with the property. Moegerle asked if the IUP was a condition of the sale. Allenspach said yes, it is a condition of the sale. Terry asked if the IUP would need to be applied for by the new owner. Hanson said the IUP would go with the land, the ordinances do not specify that the IUP would be with the land. Allenspach clarified that the new owner wanted to make sure they could use the property for a house of worship.

Hanson said condition number 2 states they need to have regular worship services on a monthly basis. Once a certificate of occupancy is issued, the owner must show that they have scheduled the days of worship each year. The IUP would eventually terminate if the property owner did not have worship services there. Allenspach said they have had discussions with staff in the event the purchase agreement falls through.

Holmes asked about point number one, he wanted to know if that refers to what we are approving here. Hanson said yes. Moegerle said with the purchase agreement this proposal has been shared with the potential buyer. Allenspach said yes they have been involved in all the discussions. Allenspach also said staff has put in a lot of hard work on this and thanked Hanson for all her hard work.

The public hearing was closed at 7:12 p.m.

Bonin said the IUP goes with the property. Moegerle clarified so the IUP would transfer with the property to the new owner.

Pierson motioned to recommend approval to City Council the Interim Use Permit that will allow a place of worship in the CC District. The property being located at 1562 and 1644 Viking Blvd., East Bethel, PINs 29-33-23-41-0001 and 29-33-23-41-0002 with the following conditions:

- 1. An Interim Use Permit Agreement must be executed no later than February 1, 2011.**
- 2. The property is to be used as a place of worship where persons regularly assemble for religious worship. Regular worship services must be conducted at a minimum of one (1) day per month. Discontinuing regular worship services for more than one (1) year shall terminate the IUP. Regular worship services must be conducted starting one (1) year after the transaction of new ownership takes place.**
- 3. Expansion of the place of worship and/or its accessory uses will require a site plan review before the Planning Commission and approved by City Council. Expansion of the uses on the site must meet requirements set forth in city code at the time of the submittal of the site plan review.**
- 4. It is the responsibility of the property owner to obtain required permitting from the City of East Bethel prior to modifications, repairs, etc. to the existing structure.**
- 5. A Certificate of Occupancy must be issued prior to occupying the**

- existing facilities. The existing facilities must be inspected by the City of East Bethel Building Safety Department and Fire Department.**
- 6. Once a Certificate of Occupancy is issued, the place of worship must submit to city staff detailed documentation of the use of the building for the prior year. This documentation must be submitted by January 31 of each year.**
 - 7. The IUP would transfer with the property to all future owners.**

Moegerle seconded; all in favor, motion carries.

This will be before the City Council on December 1, 2010.

Public Hearing to consider adoption of Ordinance 28, Second Series, An Ordinance Amending Appendix A. Zoning, of the East Bethel City Code which includes amending driveway access and standards, and further defining essential government services.

City staff is proposing amendments to city code as Ordinance 28, Second Series, An Ordinance Amending Appendix A. Zoning, of the East Bethel City Code. Ordinance 28, Second Series has been attached for review.

The definition of “essential services” reads, “The utilization, construction, alteration, or maintenance by public utilities or municipal departments of underground, surface, or overhead gas, electricity, steam, fuel, water supply or distribution system(s); sanitary sewage disposal system; including accessory facilities but not including buildings greater than 120 square feet necessary for the furnishing of adequate service by such utilities or municipal departments for the general health, safety, or welfare.” Staff is proposing to omit the language “but not including buildings greater than 120 square feet” as it is common for accessory facilities associated with essential services to be greater than 120 square feet in size.

On October 23, 2010, Planning Commission recommended approval to City Council of Ordinance 27, Second Series, An Ordinance Amending Appendix A. Zoning, of the East Bethel City Code. On November 3, 2010, City Council approved Ordinance 27, Second Series. As part of Ordinance 27, Second Series, Governmental Essential Services is now a permitted use in the City Center zoning district. Ordinance 28, Second Series will allow Governmental Essential Services as a permitted use in all of the city’s zoning districts rather than as a conditional use.

At the October 20, 2010 City Council meeting – Public Forum, Mr. Chris Lee expressed his concerns regarding development regulations for driveway access and standards. Current code requires newly created driveways to be constructed of either bituminous or concrete materials extending from the street a minimum of 75 feet. This includes driveways located on unimproved streets. Mr. Lee lives on an unimproved street and is installing a second driveway to access his pole barn. Mr. Lee questioned the reason why it would be required to hard surface a driveway on an unimproved street. After discussion, City Council directed staff to propose changes to the driveway access and standards; therefore, staff is proposing an amendment that would read:

“In all residential zoning districts, driveways located on a paved street require a bituminous or concrete driveway is required in the RR district extending from the street a minimum of seventy-five (75) feet or to the garage apron, whichever is less. Driveway width shall be a minimum of twelve (12) feet wide and cannot

exceed twenty-four (24) feet in width at the right-of-way. A turn-around, located entirely on a residential lot, will be required for driveways that directly access a street with a posted speed limit greater than forty-five (45) miles per hour.”

“In all residential districts, driveways created on an unimproved street after the adoption of Ordinance 28 are required to meet the paving requirements of this section no later than one (1) year after improvements of the street are completed with either a bituminous and/or concrete surface.”

At the November 3, 2010 City Council meeting – Public Forum, Mr. George Cossette, owner of George’s Boat Repair, located at 18611 Highway 65 explained that the property located directly north of his property is for sale. Mr. Cossette is interested in purchasing the property so he can expand the boat repair business (George’s Boat Repair has been in operation since the 1970s).

According to city code, Mr. Cossette’s existing business is no longer a permitted use in the B3 District; therefore, it is a legal non-conforming use. A legal, nonconforming use cannot be expanded; therefore, the zoning code prohibits Mr. Cossette to expand his business.

City Council supported Mr. Cossette’s desire to grow his business in East Bethel. Staff was directed to continue working with Mr. Cossette on this issue. Staff is proposing an amendment to the conditional uses in the B3 District to allow “retail sales and services – boat sales” and to amend the definition of retail sales and services to allow boat sales which would read:

“Retail sales and services: Stores and shops selling goods over-the-counter for use away from the point of purchase, or offering services on the premises. Large items such as motor vehicles, boats, or open sales lots open sale lots are not included in this category of uses.”

The City Attorney has reviewed the proposed amendments. He does not have concerns regarding the proposed language.

City staff requests Planning Commission to recommend approval to City Council of Ordinance 28, Second Series, An Ordinance Amending Appendix A. Zoning, of the East Bethel City Code.

The public hearing was opened at 7: 19 p.m. and there was no public comment. Public hearing was closed at 7:19 p.m.

First item – Modification of definition of essential services. Moegerle asked if this was to support the water project. Hanson said it is for all city services.

Second item – City Center Zoning District. Moegerle asked if this would allow sewer and water to the agriculture district. Hanson could not comment on that. Moegerle asked if it includes transmission lines. Hanson said no it does not.

Third item – Driveway change. Moegerle asked about how the decision at the March 23, 2010 Planning Commission meeting pertaining to Blue Ribbon Disk Golf and this item relate. She stated they are on an unimproved street and they have a parking lot at their location. Should this change also apply to that situation as well? Hanson said Blue Ribbon is a commercial business and they have other issues to deal with such as drainage and parking issues. Staff doesn't see these two items as the same; this is a residential driveway versus a commercial parking lot. Hanson said they haven't come in with their site plan as of yet.

Holmes asked if we change the ordinance and a property owner has their street paved and they have two driveways, what if they couldn't afford to pave the two driveways in one year. Hanson said she didn't know if they would have to pave two driveways. At a staff level they would need to keep tabs on when the driveways are established. Holmes said residents could put in a driveway without the City knowing. Hanson said residents need a permit to build a driveway, whether it is gravel or bituminous or concrete. Council member Voss said they require driveways to be paved to protect the City street.

Terry wanted to recommend changing the language to “In all residential districts, driveways created on an unimproved street after the adoption of Ordinance 28 are required to meet the paving requirements of this section no later than one (1) year after subsequent improvements of the street are completed with either a bituminous and/or concrete surface.”

Voss explained to the Commission the whole idea came from a gentleman coming to the City Council meeting and there was an issue he brought forward, why pave a driveway when you are on a dirt road. Some cities would make a resident put the money in escrow for later on down the road. Bonin said once people want a road paved; the City can say once your driveway is paved, we may pave the street. Moegerle asked why are we saying created after the adoption of this ordinance. Holmes said if the driveway is created after the ordinance is created, then it must be bituminous or concrete.

Fourth item – Change to B3 District Conditional Use Permit Allowance

Holmes said he is wondering what the other building would be used for. Hanson said it would be the same business, boat and trailer sales. He would use more of the outdoor yard for storage and sale of boats. Pierson said it would be a good use for that property. It had been Nelson Truck for a long time. Moegerle said in the last line the word “or” needs to be added.

Terry motioned to approve the changes approved in the ordinance as proposed by staff and discussed during the meeting. Pierson seconded; motion carried 4-2 (Moegerle and Moline voted against).

Approve October 26,
2010 Planning
Commission Meeting
Minutes

Pierson motioned to approve the October 26, 2010 Planning Commission minutes as presented. Terry seconded; all in favor, motion carries.

Adjourn

Pierson made a motion to adjourn the meeting at 7:40 PM. Moegerle seconded; all in favor, motion carries.

Submitted by:

Jill Teetzel
Recording Secretary

DRAFT