

**City of East Bethel**  
**Planning Commission Agenda**  
7:00 PM  
Tuesday, November 26, 2013



## Agenda

- |         | <u>Item</u>   |
|---------|---|
| 7:00 PM | <b>1.0 Call to Order</b>  |
| 7:02 PM | <b>2.0 Adopt Agenda</b>   |
| 7:03 PM | <b>3.0 Public Hearing</b> - A request by Shaw Trucking for approval of a Preliminary Plat/Planned Unit Development for a residential development known as Viking Preserve. The 58.92 acre parcel consists of 60 proposed single family lots in a planned unit development.<br>Property Location: Southern boundary – Viking Boulevard NE (Anoka County Highway 22) Western boundary – Jackson St<br>NE Part of Sec. 29 & 30, TWP 33, RNG 23<br>Zoning: R-1/PUD overlay Single Family Residential/Planned Unit Development, R-2/PUD overlay Single Family and Townhome Residential/Planned Unit Development, CC City Center District |
| 7:40 PM | <b>4.0 Public Hearing</b> - Request by owner/applicant, Joseph and Jane Morgan, to obtain a Variance for side yard setbacks. The Zoning Classification is R1 – Single Family Residential in the Shoreland Overlay District, 3710 Edmar Lane NE, PID No. 353323210012  |
| 7:55 PM | <b>5.0 Public Hearing</b> - Request by owner/applicant, Bruce and Sharon Johnson, d/b/a Minnesota Fresh Farm, to obtain an Interim Use Permit to operate Agri-tourism activities including but not limited to, Pumpkin Patch, Corn Maze, and U Pick Berries. The location being 20241 Hwy 65 NE, East Bethel, MN 55011, PIN 203323130001 and 203323140001. The Zoning Classification is Single Family and Townhouse (R-2) District.   |
| 8:15 PM | <b>6.0 Public Hearing</b> - The hearing will be to consider several changes to the City Code, Appendix A, Section 14 – Accessory Structures.  |
| 8:25 PM | <b>7.0 Approval of Meeting Minutes</b> <ul style="list-style-type: none"><li>- Aug. 27, 2013 – Regular Meeting</li><li>- Sept. 23, 2013 – Special Meeting</li><li>- Sept. 23, 2013 – Joint Meeting with EDA</li><li>- October 22, 2013 – Regular Meeting</li></ul>  |
| 8:30 PM | <b>8.0 Other Business</b>   |
| 8:40 PM | <b>9.0 Adjournment</b>  |



# City of East Bethel Planning Commission Agenda Information

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**Date:**

November 26, 2013

\*\*\*\*\*

**Agenda Item Number:**

Item 3.0

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**Agenda Item:**

Viking Preserve Preliminary Plat – 60 unit Single Family Planned Unit Development, Zoning R1, R2, and CC.

\*\*\*\*\*

**Requested Action:**

Request that the Planning Commission recommend approval of the Preliminary Plat of Viking Preserve to the City Council.

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**Background Information as presented by Colleen Winter, Community Development Director**

The Developer/Owner, Don Shaw (d/b/a Shaw Trucking) hereafter referred to as “The Developer” is proposing to build a single family residential development. The property is zoned three different ways – City Center, R2 and R1 with a Planned Unit Development overlay in the R1 and R2 districts.

The primary purpose of the planned unit development (PUD) provisions is to allow flexibility and variation from conventional ordinance standards in exchange for higher standards of development design and creativity, architectural control, natural resource protection, landscaping, public parks, public and private open space protection, pedestrian access, and multi-use corridor opportunities. The PUD provisions are also intended to promote the efficient use of land and promote cost-effective public and private infrastructure systems.

Public benefit: The public benefits to the surrounding neighborhood and the city as a whole that are intended to be derived from the approval of a planned unit development include, but are not limited to:

- A. Preservation and enhancement of desirable site characteristics and open space.
- B. A pattern of development which preserves natural vegetation, topographic and geologic features.
- C. Preservation and enhancement of historic and natural resources that significantly contribute to the character of the city.
- D. Use of design, landscape, or architectural features to create a pleasing environment or other special development features.
- E. Provision of a variety of housing types in accordance with the city's housing goals.

- F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation.
- G. Business and commercial development to enhance the local economy and strengthen the tax base.
- H. To assure the development of a complex unit of associated uses is planned as a single entity and to effectuate the policies and standards of the comprehensive plan.

The Planning Commission reviewed the Concept Plan of this property at the regular meeting in October and based on Planning Commission feedback, the Developer proceeded with the preparation of the Preliminary Plat.

Comments regarding Preliminary Plat:

1. All required documents as outlined in our Subdivision Ordinance Chapter 66, Article III have been submitted and are in the review and comment period.
2. Changes from Concept Plan to Preliminary Plat – The Developer has added an additional proposed trail from Taylor street through Outlot A and is working on a lighting plan, and cluster mailbox system.
3. Building pads - As shown on the Grading Plan, the homes will be a combination of split entry and walkouts. I know there was some discussion about custom homes being allowed to be built on the property, but to preserve the integrity of the development and to work with the existing grading plan, the house designs will not allow for a lot of flexibility in floor plans. However as the Developer has indicated, the design will allow for some unique architectural elements and varying color schemes.
4. Landscaping – All properties will have two trees as per our requirements.
5. Grading and landscaping around ponds. Engineer is reviewing that information and requirements will be put in the Developer’s agreement as to maintenance of these areas.
6. Tree Removal – The Developer has indicated that they want to minimize the number of trees that will be removed from the development and the plans show minimal tree removal and protection during construction phase of existing trees.
7. Cul-de-sacs – At the last Planning Commission meeting there was discussion about Taylor Street and whether or not that should be a through street. It is City Staff’s recommendation that Taylor Street not be shown as a through street at this time.
8. Outlot C – Is reserved for Future development and as a current buffer.

Neighborhood comments:

There is a letter in your packet from Darlene and Mike Murray stating concerns about the Development. I have forwarded their concerns on to the Developer and the Developer’s representative and I will address their concerns at the meeting.

\*\*\*\*\*

**Attachments:**

- Zoning Map
- Full Preliminary Plat Plan sheets
- Letter from Darlene and Mike Murray



**NOTICE OF PUBLIC HEARING  
CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of East Bethel will hold a public hearing on Tuesday, November 26, 2013 at 7:00 p.m. at the City Hall, 2241 221<sup>st</sup> Avenue NE, East Bethel, MN to consider the following:

A request by Shaw Trucking for approval of a Preliminary Plat/Planned Unit Development for a residential development known as Viking Preserve. The 58.92 acre parcel consists of 60 proposed single family lots in a planned unit development.

**Property Location:**

Southern boundary – Viking Boulevard NE (Anoka County Highway 22)

Western boundary – Jackson St NE

Part of Sec. 29 & 30, TWP 33, RNG 23

**Zoning:**

R-1/PUD overlay Single Family Residential/Planned Unit Development

R-2/PUD overlay Single Family and Townhome Residential/Planned Unit Development

CC City Center District

A copy of the proposed preliminary plat is available at City Hall during regular hours between 8:00 A.M. to 4:00 P.M. for the public's review.

The hearing of this request is not limited to those receiving copies of this notice. If you know of any neighbor or interested property owner, who for any reason has not received a copy, please inform them of this public hearing.

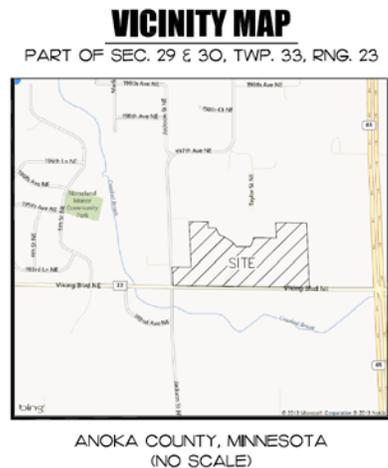
The East Bethel City Council may consider this request at its December 4, 2013 regular meeting.

Published in the Anoka County Union  
November 15, 2013.

Subscribed and sworn to me  
this 8<sup>th</sup> day of November 2013.

Colleen Winter  
Community Development Director

Carrie Frost  
Notary Public





# Map

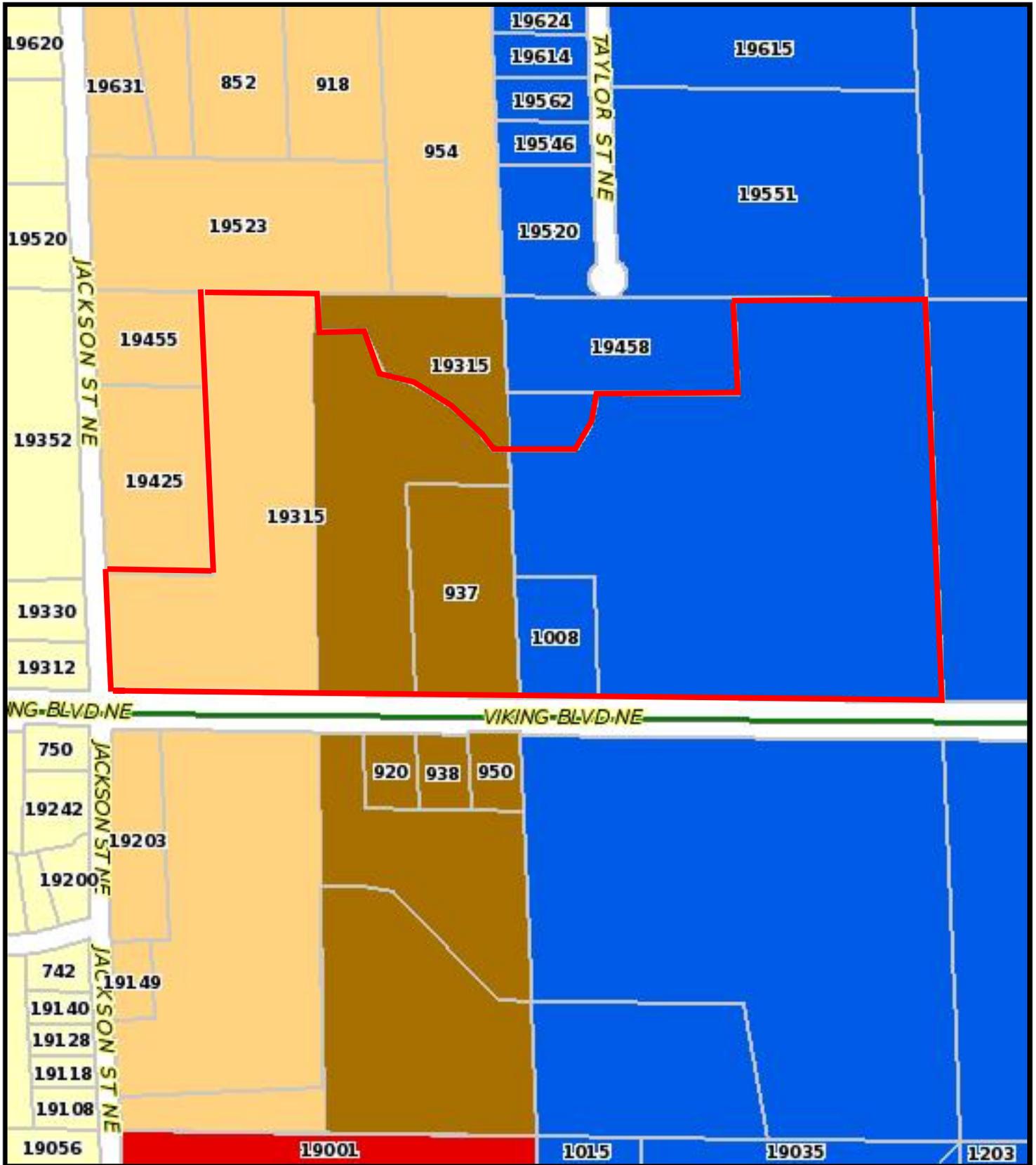
RR - Rural Residential

R-1 - Single Family Residential

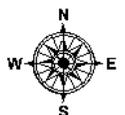
R-2 - Single Family & Townhomes

CC - City Center District

Public/Institutional



Disclaimer: Maps and documents made available to the public by the City of East Bethel are not legally recorded maps or surveys and are not intended to be used as such. The maps and documents are created as part of the Geographic Information System (GIS) that compiles records, information, and data from various city, county, state and federal resources.  
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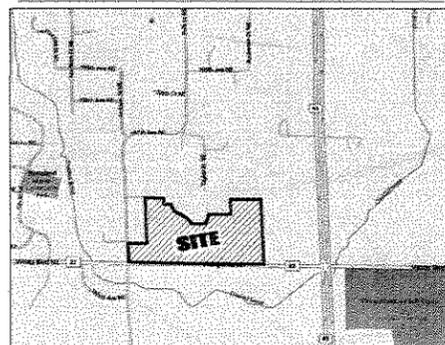


# VIKING PRESERVE

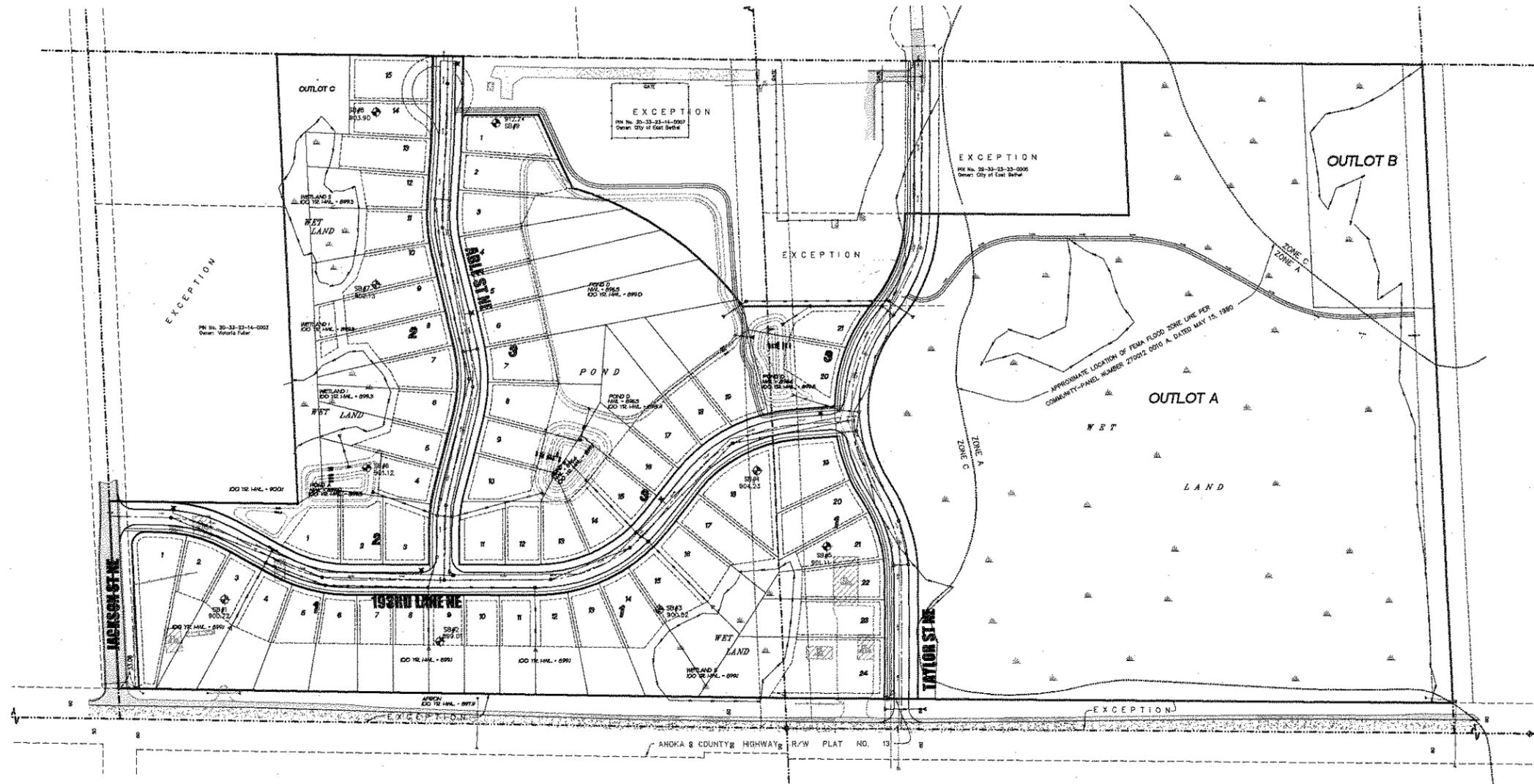
## TITLE SHEET, NOTES & LEGEND

EAST BETHEL, MN

### VICINITY MAP



N.T.S.



DRAWN BY:	DESIGN BY:
A.G.	A.G.
CHECKED BY:	PROJ. NO.:
C.W.P.	1S-1445
ORIGINAL DATE:	NOVEMBER 12, 2013

DATE	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA.

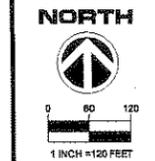
**ADAM GUNDEL**  
Professional Engineer  
No. 111,220,133  
Date: 11.12.2013  
Lic. No. 43263

VIKING PRESERVE  
EAST BETHEL, MN  
TITLE SHEET, NOTES & LEGEND

PREPARED FOR:  
SHAW TRUCKING, INC.



**PLOWE**  
ENGINEERING, INC.  
8775 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 261-8210  
FAX: (651) 361-8701



**CO**

### GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS (MOST CURRENT EDITION), CITY STANDARD DETAIL PLATES, AND MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2005 EDITION.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

REMOVE/RELOCATE EXISTING UTILITIES AS NECESSARY FOR CONSTRUCTION.

ABANDON EXISTING WATER WELLS PER CITY AND STATE CODE.

### WATER MAIN NOTES

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANST A21.11).

MAINTAIN MINIMUM 7.5-FT COVER TO TOP OF ALL WATER MAIN PIPE.

PROVIDE CONCRETE THRUST BLOCKING AT BENDS AND TEES.

TRACER WIRE IS REQUIRED FOR ALL PVC WATERMAIN PIPE AND SHALL BE 6" COPPER INSULATED, RATED FOR UNDERGROUND SERVICE, AND SHALL BE CONNECTED TO ALL METAL FITTINGS, VALVES AND FIRE HYDRANTS.

GATE VALVES SHALL BE RESILIENT WEDGE VALVES, MUELLER A 2360 SERIES, AMERICAN-DARLING SERIES 2500 OR APPROVED EQUAL CONFORMING TO AWWA C509 STANDARDS. ALL VALVES SHALL BE INSTALLED ON-LINE WITH ACCOMPANYING VALVE BOXES. ALL VALVES SHALL CLOSE IN A CLOCKWISE DIRECTION. ALL VALVES SHALL BE EPOXY COATED PER AWWA C550.

WATER SERVICES SHALL BE 1" COPPER TYPE K.

### STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS -DR-, IF ALLOWED BY CITY, HDPE PIPE MAY BE USED. (SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED.) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATER-TIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF A WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED PRE-FORMED RUBBER, TYPE A, IN ACCORDANCE WITH MNDOT 3726.

ALL FLARED-END SECTIONS FOR PIPE CULVERTS 18" AND LARGER SHALL BE FITTED WITH TRASH GUARDS AND ALL FLARED-END SECTIONS ON PIPE STORM SEWER SYSTEMS SHALL BE FITTED WITH TRASH GUARDS.

### SANITARY SEWER NOTES

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SANITARY SEWER SHALL BE PVC AND SHALL CONFORM TO ASTM 3034 FOR THE SIZE AND STRENGTH REQUIREMENTS AS SHOWN ON THE PLAN. TRACER WIRE REQUIRED FOR SANITARY SEWER SERVICE.

ALL CONNECTION BETWEEN EXISTING AND NEW SANITARY SEWER OR SERVICE PIPE SHALL BE MADE WITH FACTORY MANUFACTURED FLEXIBLE COUPLINGS, FERRO-OR EQUIVALENT, SPECIFICALLY DESIGNED AND SIZED FOR SANITARY SEWER CONNECTIONS.

ALL SANITARY SEWER SERVICE PIPE SHALL BE 4" PVC SDR 26. ALL SERVICE CONNECTION SHALL BE SOLVENT WELDED - GASKETED CONNECTIONS WILL NOT BE ALLOWED.

**CHIMNEY SEALS**  
ANY ONE OF THE FOLLOWING RING SEALS IS ALLOWED:  
1. FLEXIBLE INTERNAL RUBBER SLEEVE, INTERLOCKING EXTENSIONS AND STAINLESS STEEL EXPANSION BANDS (STANDARD PLATE 308)  
2. FLEX-SEAL UTILITY SEALANT (STANDARD PLATE 308)  
3. INFI-SHIELD (STANDARD PLATE 310)

### CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

PROVIDE SAW-CUT AND 2-INCH DEEP MILL AT BITUMINOUS MATCH POINT. SAW-CUT EXISTING BITUMINOUS CONCRETE CURB TO PROVIDE BUTT-JOINT. SAWCUT

RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

### LEGEND

	EXISTING OVERHEAD ELECTRIC		PROPOSED WATER PIPE
	EXISTING TELEPHONE PEDESTAL		PROPOSED SANITARY SEWER PIPE
	EXISTING ELECTRICAL PEDESTAL		PROPOSED STORM SEWER PIPE
	EXISTING CABLE PEDESTAL		PROPOSED DRAIN TILE AND CLEAN-OUT
	EXISTING UTILITY POLE		PROPOSED STORM MANHOLE
	EXISTING STORM SEWER		PROPOSED CATCH BASIN
	EXISTING WATER MAIN		PROPOSED FLARED-END SECTION
	EXISTING SANITARY SEWER		PROPOSED GATE VALVE
	EXISTING STORM MANHOLE		PROPOSED HYDRANT
	EXISTING CATCH BASIN		PROPOSED SANITARY SEWER MANHOLE
	EXISTING FLARED-END SECTION		
	EXISTING GATE VALVE		
	EXISTING HYDRANT		
	EXISTING WELL		
	EXISTING SANITARY SEWER MANHOLE		
	EXISTING FENCE		
	EXISTING WETLAND		
	SOIL BORING LOCATIONS		

TITLE SHEET, NOTES & LEGEND  
VIKING PRESERVE

# PRELIMINARY PLAT

~of~ VIKING PRESERVE  
 ~for~ SHAW TRUCKING, INC.  
 18530 Buchanan Street N.E.  
 East Bethel, MN 55011

## PROPERTY DESCRIPTION

The Southwest Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, except the North 300 feet of the West 726 feet thereof and also except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

AND

The Southeast Quarter of the Northeast Quarter of Section 30, Township 33, Range 23, except the West 370 feet of the North 888.56 feet and also except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

AND

Together with a Non-Exclusive, Appurtenant Right-of-Way Easement for ingress and egress over the West 40 feet of the Southeast Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

EXCEPT

That part of the Southeast Quarter of the Northeast Quarter of Section 30, Township 33, Range 23, Anoka County, Minnesota, described as follows:

Beginning at the Northeast corner of said Southeast Quarter of the Northeast Quarter; thence on an assumed bearing of South 02 degrees 16 minutes 18 seconds East along the East line of said Southeast Quarter of the Northeast Quarter, a distance of 485.94 feet; thence North 90 degrees 00 minutes 00 seconds West a distance of 48.35 feet; thence Northwesterly a distance of 418.48 feet along a non-tangent curve, concave to the Southwest, having a radius of 636.00 feet, a central angle of 37 degrees 31 minutes 23 seconds, a chord distance of 411.04 feet and a chord bearing of North 55 degrees 04 minutes 53 seconds West; thence North 24 degrees 32 minutes 38 seconds West, not tangent to said curve, a distance of 127.41 feet; thence North 09 degrees 00 minutes 00 seconds West a distance of 150.00 feet; thence North 00 degrees 52 minutes 14 seconds East to the North line of said Southeast Quarter of the Northeast Quarter; thence Easterly along said North line to the point of beginning.

AND

That part of the Southwest Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, Anoka County, Minnesota, lying South of the North 300.00 feet thereof, lying Westerly of the hereinafter described Line A, and lying Northerly of the hereinafter described Line B and its extensions.

Line A:

Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence on an assumed bearing of South 89 degrees 25 minutes 45 seconds East along the South line of said Southwest Quarter of the Northwest Quarter, a distance of 194.31 feet; thence North 00 degrees 35 minutes 11 seconds East a distance of 300.02 feet; thence Northwesterly a distance of 156.83 feet along a tangent curve, concave to the Southwest, having a radius of 287.00 feet and a central angle of 33 degrees 09 minutes 18 seconds to the point of beginning of the line to be described; thence Northerly a distance of 426.03 feet along a reverse curve, concave to the East, having a radius of 333.00 feet and a central angle of 73 degrees 18 minutes 09 seconds; thence Northwesterly a distance of 154.23 feet along a reverse curve, concave to the northwest, having a radius of 267.00 feet and a central angle of 39 degrees 41 minutes 08 seconds; thence North 00 degrees 32 minutes 58 seconds East, tangent to said curve, to the North line of said Southwest Quarter of the Northwest Quarter and there terminating.

Line B:

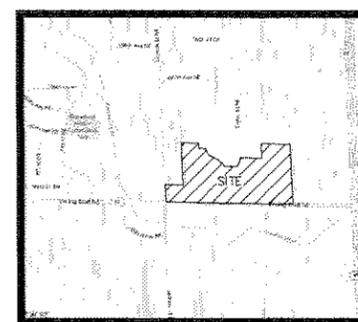
Commencing at the Northwest corner of said Southwest Quarter of the Northwest Quarter; thence on an assumed bearing of South 02 degrees 16 minutes 18 seconds East along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 485.94 feet to the point of beginning of the line to be described; thence North 90 degrees 00 minutes 00 seconds East a distance of 350.00 feet and there terminating.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/08/13.
- Bearings shown are on the Anoka County Coordinate System.
- The surveyed premises contains 28.92 Acres, more or less.
- Curb cuts are taken at the top and back of curb.
- Property description as per Title Commitment File No. T10-02032 prepared by Commonwealth Land Title Company dated February 26, 2010. As noted exception legal description per Document No. 2019538.001.
- This survey was prepared without the benefit of current title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Parcel I.D. Nos.  
 29-33-23-23-0008 Unassigned address  
 29-33-23-23-0009 1008 Viking Boulevard  
 30-33-23-14-0005 327 Viking Boulevard  
 30-33-23-14-0008 19315 Jackson Street

## VICINITY MAP

PART OF SEC. 29 & 30, TWP. 33, RNG. 23

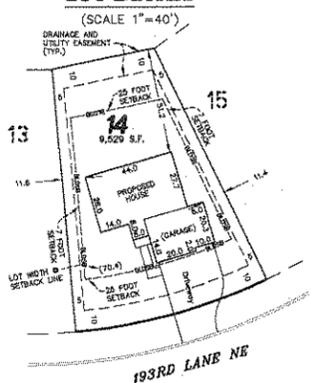


## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES GATE VALVE
- ⊕ DENOTES POWER POLE
- ⊕ DENOTES EXISTING SPOT ELEVATION
- ⊕ DENOTES SIGN
- ⊕ DENOTES LIGHT POLE
- ⊕ DENOTES TELEPHONE PEDESTAL
- ⊕ DENOTES FIBER OPTIC BOX
- ⊕ DENOTES GUY WIRE
- ⊕ DENOTES WELL
- ⊕ DENOTES STORM SEWER APRON
- ⊕ DENOTES WET LAND
- ⊕ DENOTES WOMEN WIRE FENCE
- ⊕ DENOTES EXISTING SANITARY SEWER
- ⊕ DENOTES EXISTING STORM SEWER
- ⊕ DENOTES EXISTING WATER MAIN
- ⊕ DENOTES OVERHEAD WIRE
- ⊕ DENOTES CONCRETE SURFACE
- ⊕ DENOTES BITUMINOUS SURFACE
- ⊕ DENOTES GRAVEL SURFACE
- ⊕ DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013

## LOT DETAIL

(SCALE 1"=40')



## AREA COMPUTATIONS:

60 PROPOSED PUD LOTS	58.92± ACRES
3 PROPOSED OUTLOTS	1.02± UNITS/ ACRE
TOTAL AREA OF SITE:	27.26± ACRES
AREA OF WETLAND:	7.28± ACRES
AREA OF MAN MADE POND:	31.66± ACRES
AREA OF UPLAND INCLUDING MAN MADE POND:	1.89± UNITS/ ACRE

## ZONING:

**CURRENT ZONING:**  
 R-1/PUD SINGLE FAMILY RESIDENTIAL / PLANNED UNIT DEVELOPMENT

**R-2/PUD SINGLE FAMILY & TOWNHOME RESIDENTIAL / PLANNED UNIT DEVELOPMENT**  
 CITY CENTER DISTRICT

**CC**

**PROPOSED ZONING:**  
 PUD PLANNED UNIT DEVELOPMENT

## BENCHMARK

MNDOT NAME: DENN MNDT ELEV. = 899.21 (NAVD88)

## P.U.D. LOT STANDARDS:

MINIMUM LOT DEPTH	120 FEET
MINIMUM LOT DEPTH ALONG C.S.A.H.	140 FEET
STANDARD LOT WIDTH	70 FEET
STANDARD LOT WIDTH CORNER LOT	90 FEET
STANDARD LOT WIDTH CORNER C.S.A.H.	120 FEET
MINIMUM LOT SIZE	8,400 S.F.

## P.U.D. BUILDING SETBACKS:

FRONT YARD	25 FEET
SIDE YARD	7 FEET
CORNER SIDEYARD	25 FEET
REAR YARD	25 FEET
C.S.A.H.	50 FEET
WETLAND	25 FEET

DRAWN BY: JEN	JOB NO: 13630PP	DATE: 11/06/13	
CHECK BY: JER	SCANNED		
1	11/12/13	Adj Easement	
2			
3			
NO.	DATE	DESCRIPTION	BY

**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

# CERTIFICATE OF SURVEY

~of~ VIKING PRESERVE  
 ~for~ SHAW TRUCKING, INC.  
 18530 Buchanan Street N.E.  
 East Bethel, MN 55011

## PROPERTY DESCRIPTION

The Southwest Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, except the West 300 feet of the North 726 feet thereof and also except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

AND

The Southeast Quarter of the Northeast Quarter of Section 30, Township 33, Range 23, except the West 370 feet of the North 888.56 feet and also except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

Together with a Non-Exclusive, Appurtenant Right-of-Way Easement for ingress and egress over the West 40 feet of the Southwest Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, except that part platted as Anoka County Highway Right-of-Way Plat No. 13.

EXCEPT

That part of the Southeast Quarter of the Northeast Quarter of Section 30, Township 33, Range 23, Anoka County, Minnesota, described as follows:

Beginning at the Northeast corner of said Southwest Quarter of the Northeast Quarter; thence on an assumed bearing of South 02 degrees 16 minutes 18 seconds East along the East line of said Southeast Quarter of the Northeast Quarter, a distance of 485.94 feet; thence North 90 degrees 00 minutes 00 seconds West a distance of 48.35 feet; thence Northwest a distance of 418.48 feet along a non-tangent curve, concave to the Southwest, having a radius of 639.00 feet, a central angle of 37 degrees 31 minutes 23 seconds, a chord distance of 411.04 feet and a chord bearing of North 35 degrees 04 minutes 53 seconds West; thence North 24 degrees 32 minutes 39 seconds West, not tangent to said curve, a distance of 157.41 feet; thence North 90 degrees 00 minutes 00 seconds West a distance of 150.00 feet; thence North 00 degrees 52 minutes 14 seconds East to the North line of said Southeast Quarter of the Northeast Quarter; thence Easterly along said North line to the point of beginning.

AND

That part of the Southwest Quarter of the Northwest Quarter of Section 29, Township 33, Range 23, Anoka County, Minnesota, lying South of the North 300.00 feet thereof, lying Westerly of the hereinafter described Line A, and lying Northerly of the hereinafter described Line B and its extensions.

Line A:

Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence on an assumed bearing of South 89 degrees 25 minutes 40 seconds East along the South line of said Southwest Quarter of the Northwest Quarter, a distance of 194.31 feet; thence North 00 degrees 35 minutes 11 seconds East a distance of 300.02 feet; thence Northwest a distance of 158.83 feet along a tangential curve, concave to the Southwest, having a radius of 287.00 feet and a central angle of 33 degrees 39 minutes 16 seconds to the point of beginning of the line to be described; thence Northerly a distance of 426.03 feet along a reverse curve, concave to the East, having a radius of 333.00 feet and a central angle of 73 degrees 18 minutes 09 seconds; thence Northerly a distance of 184.93 feet along a reverse curve, concave to the northwest, having a radius of 267.00 feet and a central angle of 39 degrees 41 minutes 08 seconds; thence North 00 degrees 32 minutes 59 seconds East, tangent to said curve, to the North line of said Southwest Quarter of the Northwest Quarter and there terminating.

Line B:

Commencing at the Northwest corner of said Southwest Quarter of the Northwest Quarter; thence on an assumed bearing of South 02 degrees 16 minutes 18 seconds East along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 485.94 feet to the point of beginning of the line to be described; thence North 90 degrees 00 minutes 00 seconds East a distance of 350.00 feet and there terminating.

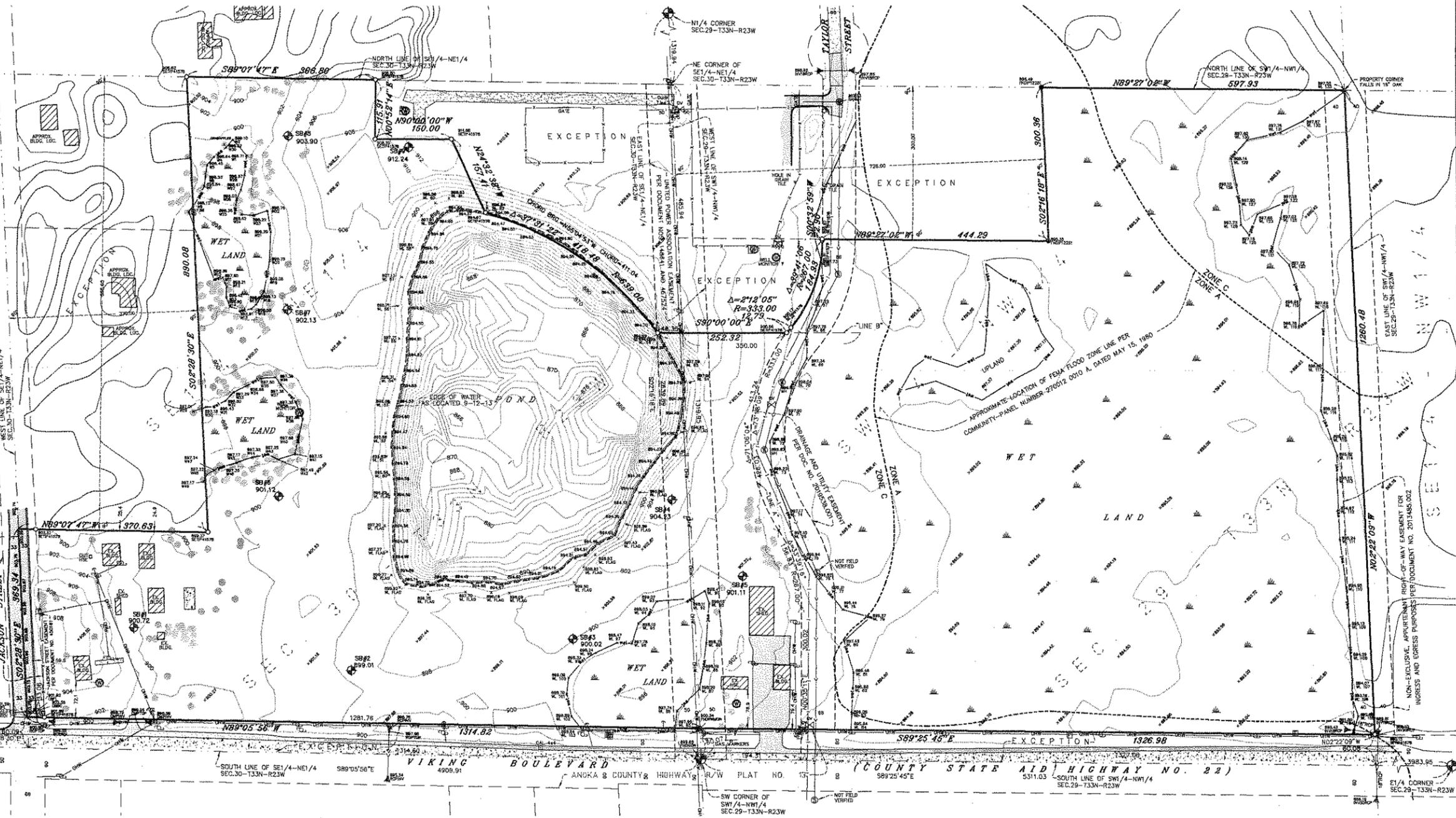
## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/08/13.
- Bearings shown are on the Anoka County Coordinate System.
- The surveyed premises contains 58.92 Acres, more or less.
- Curb shots are taken at the top and back of curb.
- Property description as per Title Commitment File No. 110-02032 prepared by Commonwealth Land Title Company dated February 26, 2010. As noted exception legal description per Document No. 2019538.001.
- This survey was prepared without the benefit of current title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Parcel ID Nos.  
 29-33-23-0008 Unassigned address  
 29-33-23-0008 1008 Viking Boulevard  
 30-33-23-0008 937 Viking Boulevard  
 30-33-23-14-0008 19310 Jackson Street

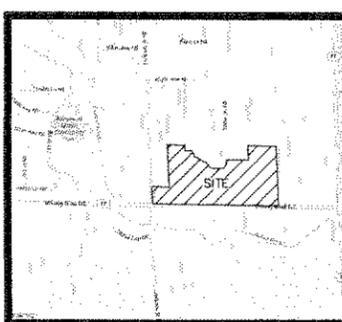
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 11-12-13 License No. 41578

**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



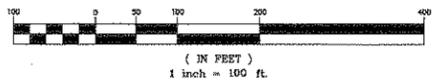
**VICINITY MAP**  
 PART OF SEC. 29 & 30, TWP. 33, RNG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)



**NORTH**  
 GRAPHIC SCALE



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES GATE VALVE
- ⊕ DENOTES POWER POLE
- ⊕ DENOTES EXISTING SPOT ELEVATION
- ⊕ DENOTES SIGN
- ⊕ DENOTES LIGHT POLE
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- ⊕ DENOTES WET LAND
- ⊕ DENOTES WOVEN WIRE FENCE
- ⊕ DENOTES EXISTING 2 FOOT CONTOURS
- ⊕ DENOTES EXISTING 2 FOOT CONTOURS PER ANOKA COUNTY
- ⊕ DENOTES EXISTING SANITARY SEWER
- ⊕ DENOTES EXISTING STORM SEWER
- ⊕ DENOTES EXISTING WATER MAIN
- ⊕ DENOTES OVERHEAD WIRE
- ⊕ DENOTES CONCRETE SURFACE
- ⊕ DENOTES BITUMINOUS SURFACE
- ⊕ DENOTES GRAVEL SURFACE
- ⊕ DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013
- ⊕ DENOTES TREES "B" OR LARGER
- ⊕ DENOTES SOIL BORING BY ALLIED TESTING

## BENCHMARK

MNDOT NAME: DENN MNDT  
 ELEV. = 899.21 (NAVD88)

DRAWN BY:	JEN	JOB NO:	13630PP	DATE:	09/19/13
CHECK BY:	JEN	SCANNED			
1	09/30/13	CONCEPT SUBMITTAL	JEN		
2	10/14/13	CONCEPT RE-SUBMITTAL	JEN		
3	11/12/13	PRE-PLAT SUBMITTAL	JEN		
NO.	DATE	DESCRIPTION	BY		



# PRELIMINARY TREE INVENTORY AND TREE REMOVAL PLAN

~of~ VIKING PRESERVE  
 ~for~ SHAW TRUCKING, INC.  
 18530 Buchanan Street N.E.  
 East Bethel, MN 55011

## TREE DETAIL

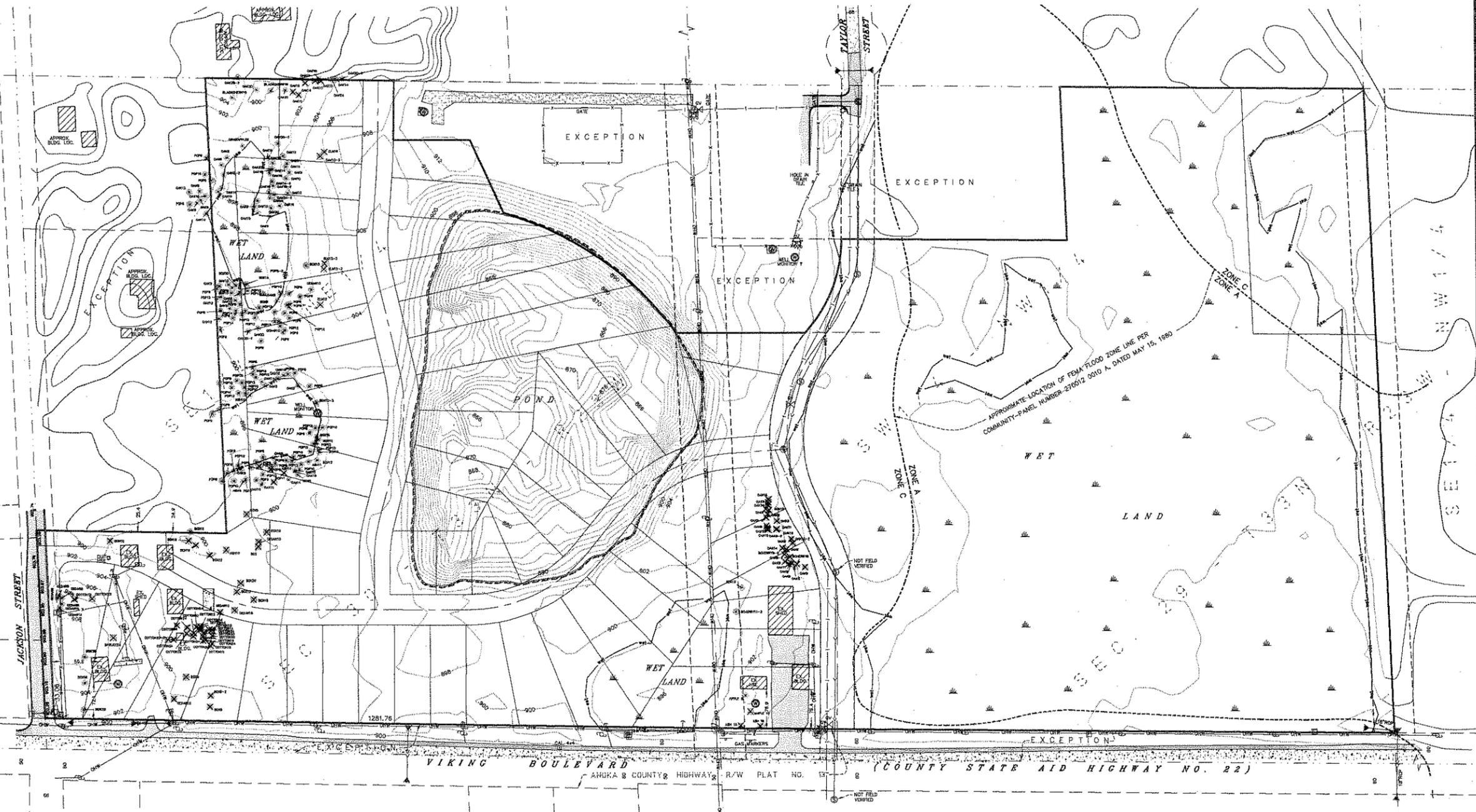
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE
- DENOTES TREE TYPE
- ✗ DENOTES TREE TO BE REMOVED
- POP DENOTES POPLAR
- BOX DENOTES BOX ELDER
- BCHERRY DENOTES BLACK CHERRY

## TREE CHART

	DECIDUOUS	CONIFEROUS
TREE COUNT	269	13
TREES TO BE REMOVED	91	5
TREES TO REMAIN	178	8

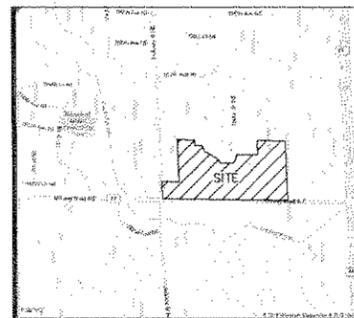
## TREE NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/08/13.
- Trees shown are 8 inches or larger.
- 269 Deciduous Trees 13 Coniferous Trees



## VICINITY MAP

PART OF SEC. 29 & 30, TWP. 33, RNG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)



NORTH

GRAPHIC SCALE



( IN FEET )  
 1 inch = 100 ft.

## LEGEND

- DENOTES CATCH BASIN
- DENOTES SANITARY SEWER MANHOLE
- DENOTES HYDRANT
- DENOTES GATE VALVE
- DENOTES POWER POLE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES SIGN
- DENOTES LIGHT POLE
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- DENOTES GRAVEL SURFACE
- DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013

## BENCHMARK

MNDOT NAME: DENN MNDT  
 ELEV. = 899.21 (NAVD85)

DRAWN BY: JEN	JOB NO: 13630PP	DATE: 11/12/13
CHECK BY: JER	SCANNED	
1		
2		
3		
NO.	DESCRIPTION	BY

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 11-12-13 License No. 41578

**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

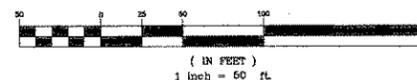
# GRADING, DRAINAGE, AND EROSION CONTROL PLAN

of VIKING PRESERVE  
for SHAW TRUCKING, INC.  
18530 Buchanan Street N.E  
East Bethel, MN 55011

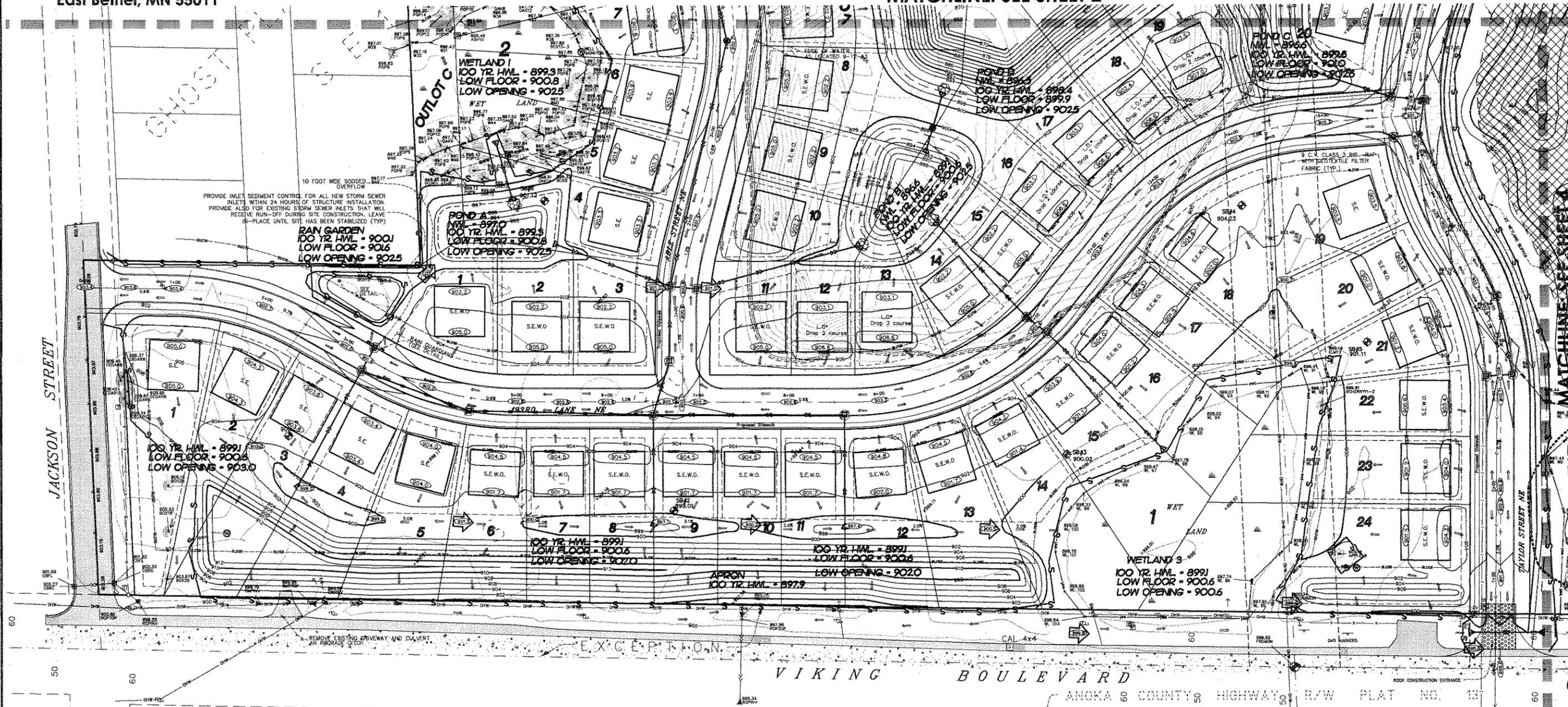
## WETLAND NOTES

- AREA OF WETLAND ENHANCEMENT = 851,772 SQ. FT. (19.55 ACRES)
- AREA OF WETLAND MITIGATION = 28,395 SQ. FT. (0.65 ACRES)
- AREA OF WETLAND FILL = 159,824 SQ. FT. (3.65 ACRES)

GRAPHIC SCALE



MATCHLINE: SEE SHEET 2



VIKING BOULEVARD  
ANOKA COUNTY HIGHWAY R/W PLAT NO. 13

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
JASON E. RUD  
Date: 11-12-13 License No. 41578

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

**PLOWE ENGINEERING, INC.**  
6778 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
PHONE: (651) 361-8210 FAX: (651) 361-8701

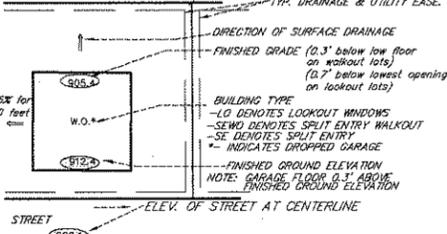
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Givens*  
ADAM GIVENS  
DATE: 11.12.2013 LIC. NO. 43963

### EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
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- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

### TYPICAL LOT



### LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
  - DENOTES IRON MONUMENT SET, MARKED R-54 41578
  - DENOTES ANOKA COUNTY CAST IRON MONUMENT
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  - DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013
  - DENOTES BUILDING SETBACK LINE
  - DENOTES PROPOSED RETAINING WALL
  - ▨ DENOTES WETLAND ENHANCEMENT
  - ▨ DENOTES WETLAND CREATION
  - ▨ DENOTES WETLAND FILL
- NOTE: SEE PLAN / PROFILE DRAWINGS FOR STORM SEWER RIMS, INVERTS AND SIZES.

DRAWN BY: MMD	JOB NO: 13830PP	DATE: 11/12/13
CHECK BY: JER	SCANNED	
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NO.	DATE	DESCRIPTION

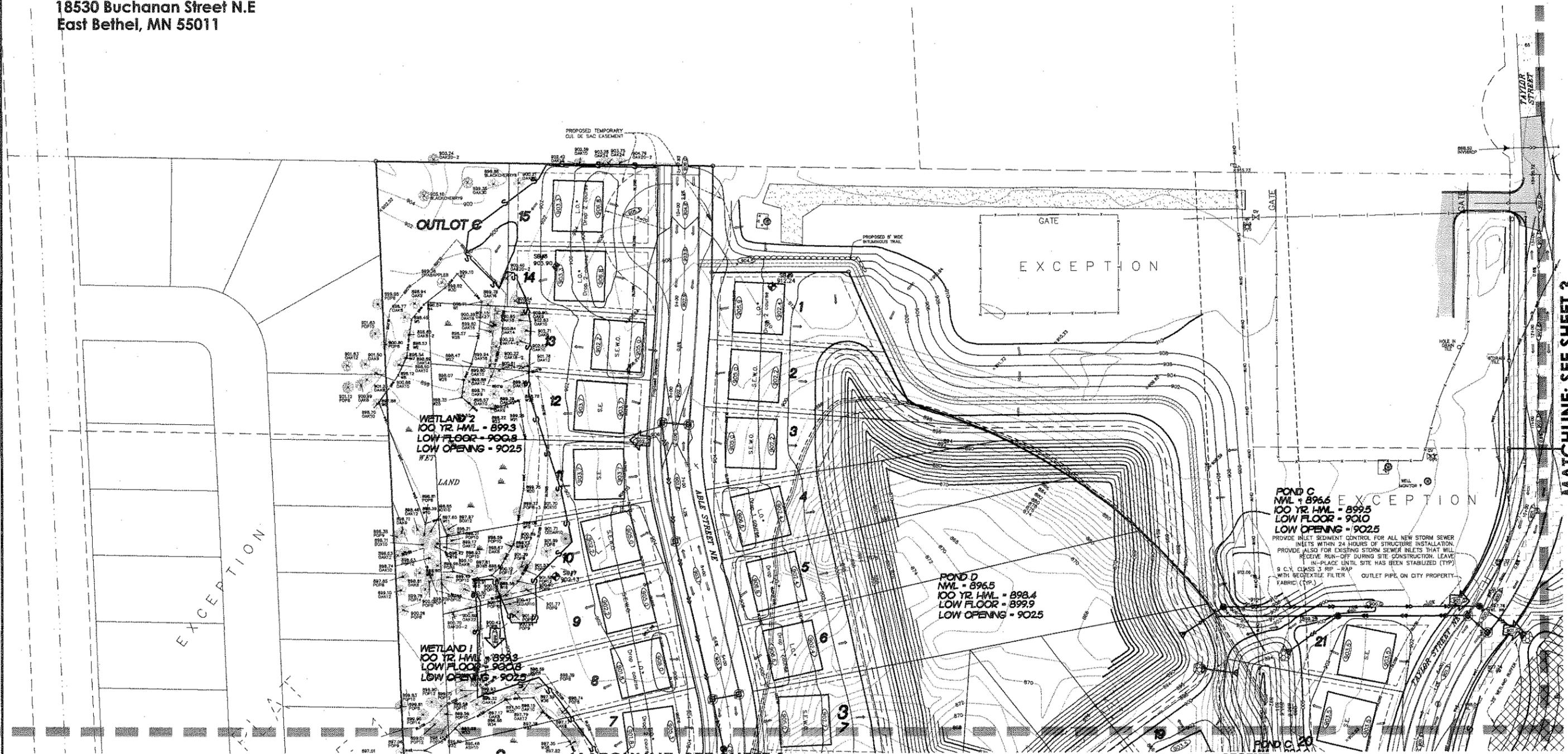
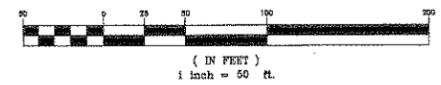
# GRADING, DRAINAGE, AND EROSION CONTROL PLAN

~of~ VIKING PRESERVE  
 ~for~ SHAW TRUCKING, INC.  
 18530 Buchanan Street N.E  
 East Bethel, MN 55011

## WETLAND NOTES

- AREA OF WETLAND ENHANCEMENT = 861,772 SQ. FT. (19.55 ACRES)
- AREA OF WETLAND MITIGATION = 28,395 SQ. FT. (0.65 ACRES)
- AREA OF WETLAND FILL = 158,824 SQ. FT. (3.65 ACRES)

GRAPHIC SCALE



MATCHLINE: SEE SHEET 3

MATCHLINE: SEE SHEET 1

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

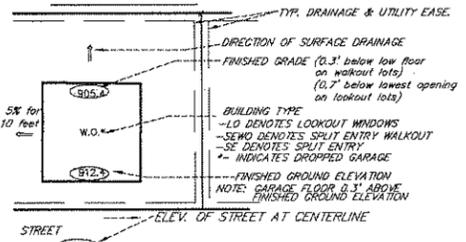
*Jason E. Rud*  
 JASON E. RUD  
 Date: 11-12-13 License No. 41578

PONDING CALCULATIONS AND STORM SEWER DESIGN BY  
**PLOWE ENGINEERING, INC.**  
  
 6778 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210 FAX: (651) 361-8701

### EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANDGORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

### TYPICAL LOT



### LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES CATCH BASIN
- DENOTES SANITARY SEWER MANHOLE
- DENOTES HYDRANT
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- S— DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013
- S— DENOTES BUILDING SETBACK LINE
- S— DENOTES PROPOSED RETAINING WALL
- S— DENOTES WETLAND ENHANCEMENT
- S— DENOTES WETLAND CREATION
- S— DENOTES WETLAND FILL

NOTE: SEE PLAN / PROFILE DRAWINGS FOR STORM SEWER RIMS, INVERTS AND SIZES.

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Adam Givkel*  
 ADAM GIVKEL  
 DATE: 11.12.2013 LIC. NO. 43983

DRAWN BY: HMD	JOB NO: 13630PP	DATE: 11/12/13
CHECK BY: JER	SCANNED	
1		
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NO.	DATE	DESCRIPTION

NORTH

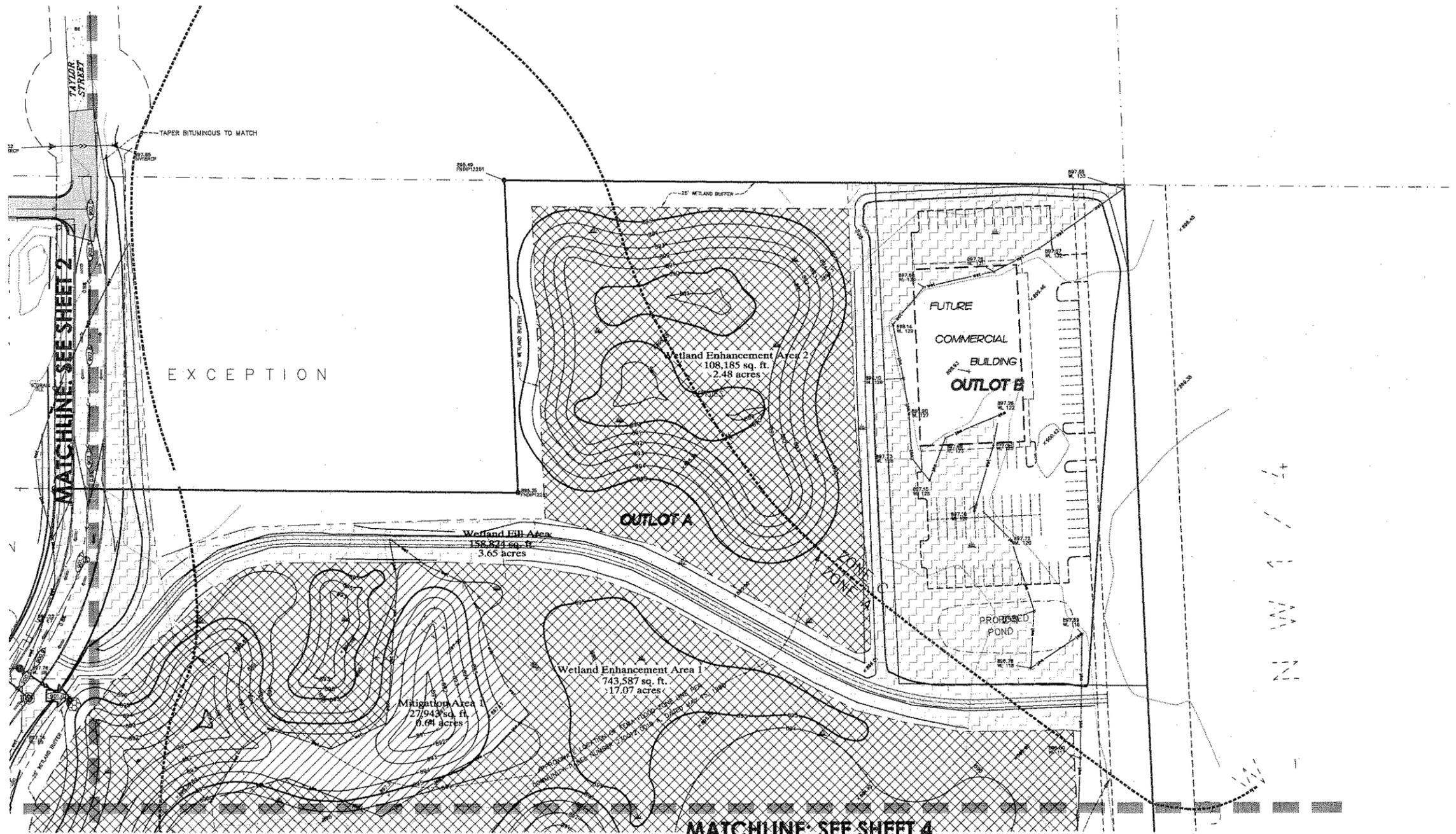
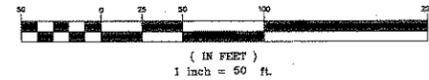
# GRADING, DRAINAGE, AND EROSION CONTROL PLAN

~of~ VIKING PRESERVE  
 ~for~ SHAW TRUCKING, INC.  
 18530 Buchanan Street N.E  
 East Bethel, MN 55011

## WETLAND NOTES

- AREA OF WETLAND ENHANCEMENT = 851,772 SQ. FT. (19.55 ACRES)
- AREA OF WETLAND MITIGATION = 28,395 SQ. FT. (0.65 ACRES)
- AREA OF WETLAND FILL = 158,824 SQ. FT. (3.65 ACRES)

GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD

Date: 11-12-13 License No. 41578

PONDING CALCULATIONS AND STORM SEWER DESIGN BY  
 PLOWE ENGINEERING, INC.

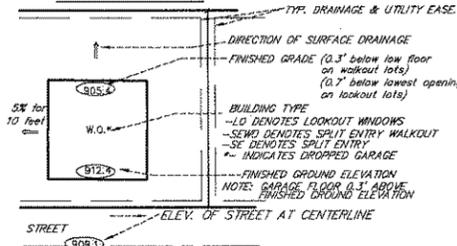
**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Adam Giviel*  
 ADAM GIVIEL  
 DATE: 11.12.2013 LIC. NO. 49963

## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
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5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

## TYPICAL LOT



## LEGEND

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  - DENOTES IRON MONUMENT SET, MARKED RLS# 41978
  - DENOTES ANOKIA COUNTY CAST IRON MONUMENT
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  - ▨ DENOTES WETLAND ENHANCEMENT
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  - ▨ DENOTES WETLAND FILL
- NOTE: SEE PLAN / PROFILE DRAWINGS FOR STORM SEWER RIMS, INVERTS AND SIZES.

NORTH

DRAWN BY: MJD	JOB NO: 13830PP	DATE: 11/12/13	
CHECK BY: JER	SCANNED		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

**E. G. RUD & SONS, INC.**  
 EST. 1877 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014  
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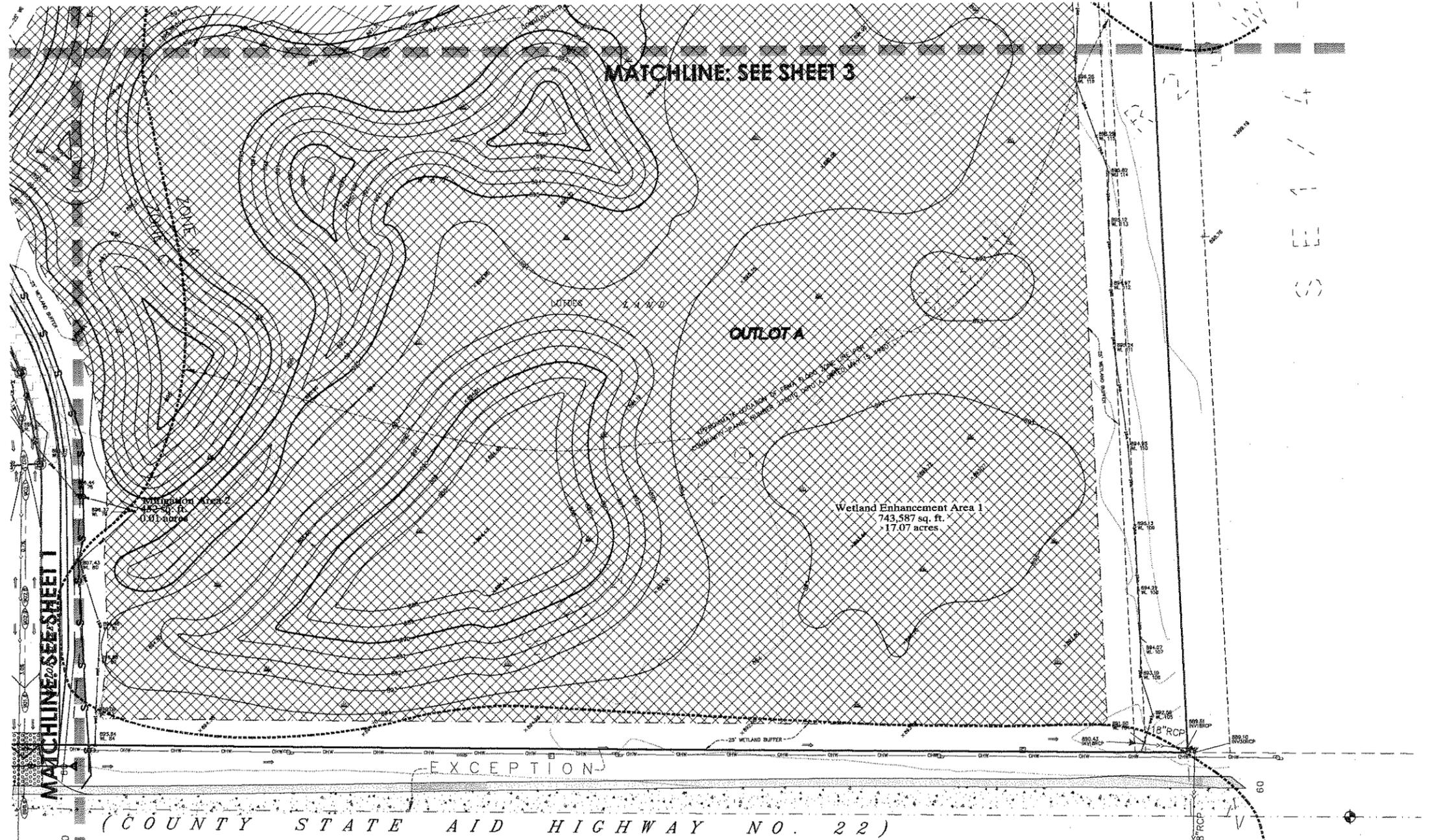
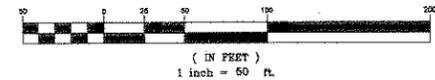
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for VIKING PRESERVE  
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18530 Buchanan Street N.E  
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GRAPHIC SCALE



EXCEPTION

(COUNTY STATE AID HIGHWAY NO. 22)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
Date: 11-12-13 License No. 41578

POUNDING CALCULATIONS AND STORM SEWER DESIGN BY  
PLOWE ENGINEERING, INC.

**PLOWE ENGINEERING, INC.**  
8776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

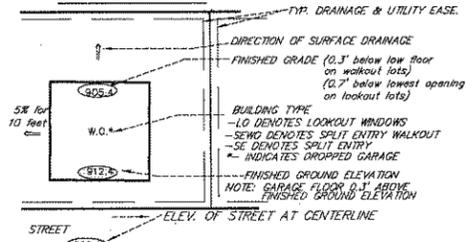
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GINKEL  
DATE: 11.12.2013 LIC. NO. 49883

### EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

### TYPICAL LOT



### LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES CATCH BASIN
- DENOTES SANITARY SEWER MANHOLE
- DENOTES HYDRANT
- DENOTES GATE VALVE
- DENOTES POWER POLE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES SIGN
- DENOTES LIGHT POLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES FIBER OPTIC BOX
- DENOTES GUY WIRE
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES WELL
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES SOIL BORING BY ALLIED TESTING
- S— DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- S— DENOTES STORM SEWER APRON
- S— DENOTES WET LAND
- S— DENOTES WOVEN WIRE FENCE
- S— DENOTES EXISTING 2 FOOT CONTOURS
- S— DENOTES PROPOSED 2 FDOT CONTOURS
- S— DENOTES EXISTING SANITARY SEWER
- S— DENOTES EXISTING STORM SEWER
- S— DENOTES PROPOSED STORM SEWER
- S— DENOTES EXISTING WATER MAIN
- S— DENOTES OVERHEAD WIRE
- S— DENOTES CONCRETE SURFACE
- S— DENOTES BITUMINOUS SURFACE
- S— DENOTES GRAVEL SURFACE
- S— DENOTES EDGE OF WETLANDS AS DELINEATED BY EARTH SCIENCE ASSOCIATES, INC., SEPTEMBER 2013
- S— DENOTES BUILDING SETBACK LINE
- S— DENOTES PROPOSED RETAINING WALL
- DENOTES WETLAND ENHANCEMENT
- DENOTES WETLAND CREATION
- DENOTES WETLAND FILL

NOTE: SEE PLAN / PROFILE DRAWINGS FOR STORM SEWER RIMS, INVERTS AND SIZES.

**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: MJD	JOB NO: 13630PP	DATE: 11/12/13
CHECK BY: JER	SCANNED	
1		
2		
3		
NO.	DATE	DESCRIPTION

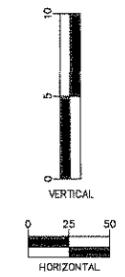
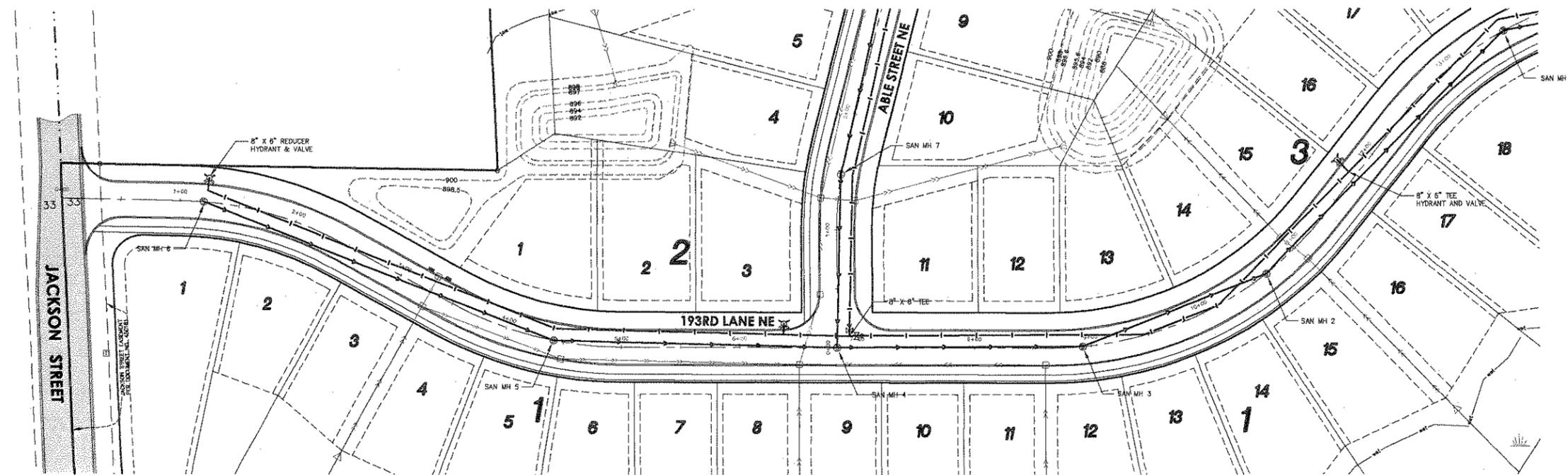
NORTH

SEE SHEET C0 FOR LEGEND AND GENERAL CONSTRUCTION NOTES

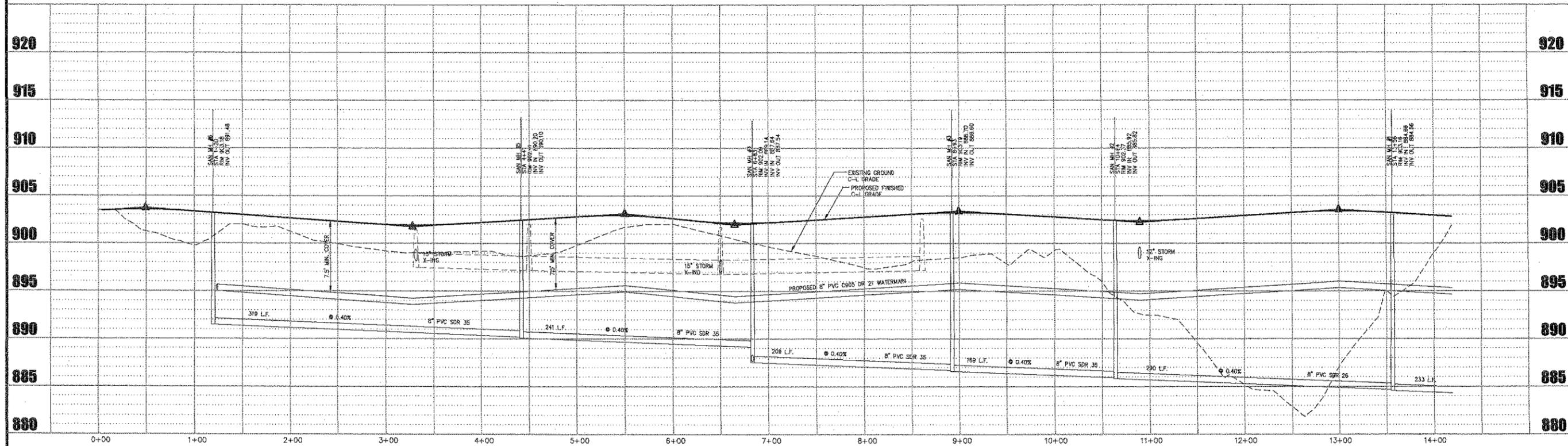
DRAWN BY: A.G.  
 CHECKED BY: C.W.P.  
 ORIGINAL DATE: NOVEMBER 12, 2013

DATE	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND UNDER THE LAWS OF MINNESOTA. I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA. ADAM GUNDEL, LIC. NO. 49963



# 193rd LANE N.E.



PLAN/PROFILE - 193RD LANE NE  
 (SANITARY SEWER & WATERMAIN)  
 VIKING PRESERVE

VIKING PRESERVE  
 EAST BETHEL, MN  
 PLAN PROFILE (SANITARY/WATER)  
 193RD LANE NE

PREPARED FOR:  
 SHAW TRUCKING, INC.

SITE PLANNING & ENGINEERING  
**PLOWE ENGINEERING, INC.**  
 6778 LAKE DRIVE  
 SUITE 110  
 LINDO LAKES, MN 55014  
 PHONE: (951) 961-8210  
 FAX: (951) 961-8701

**C1.1**

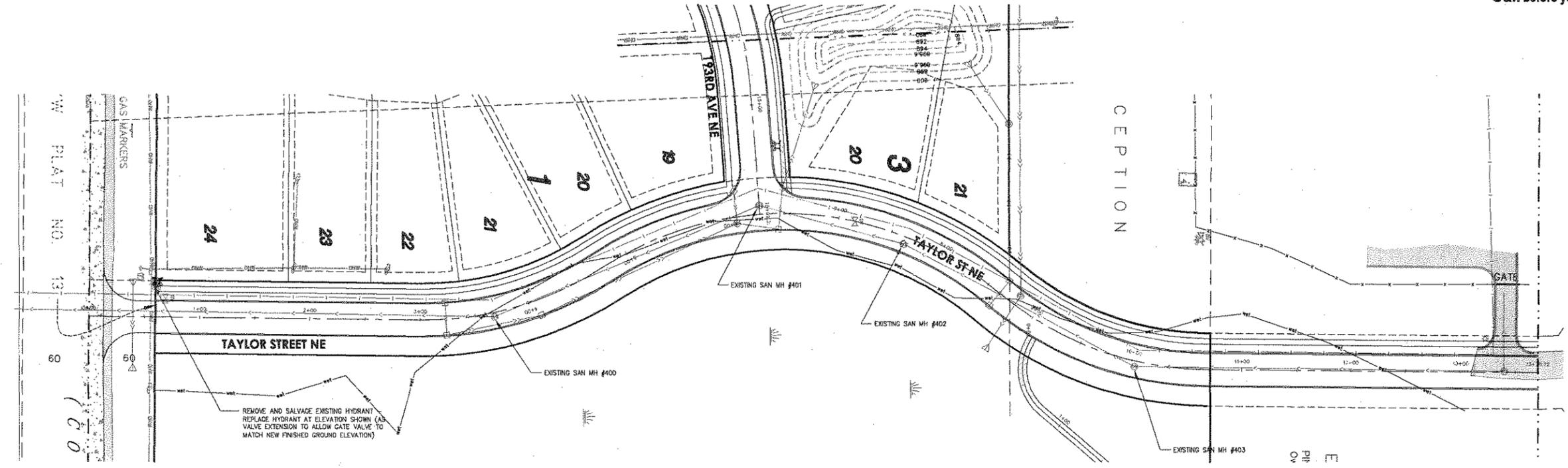


SEE SHEET C0 FOR LEGEND AND GENERAL CONSTRUCTION NOTES

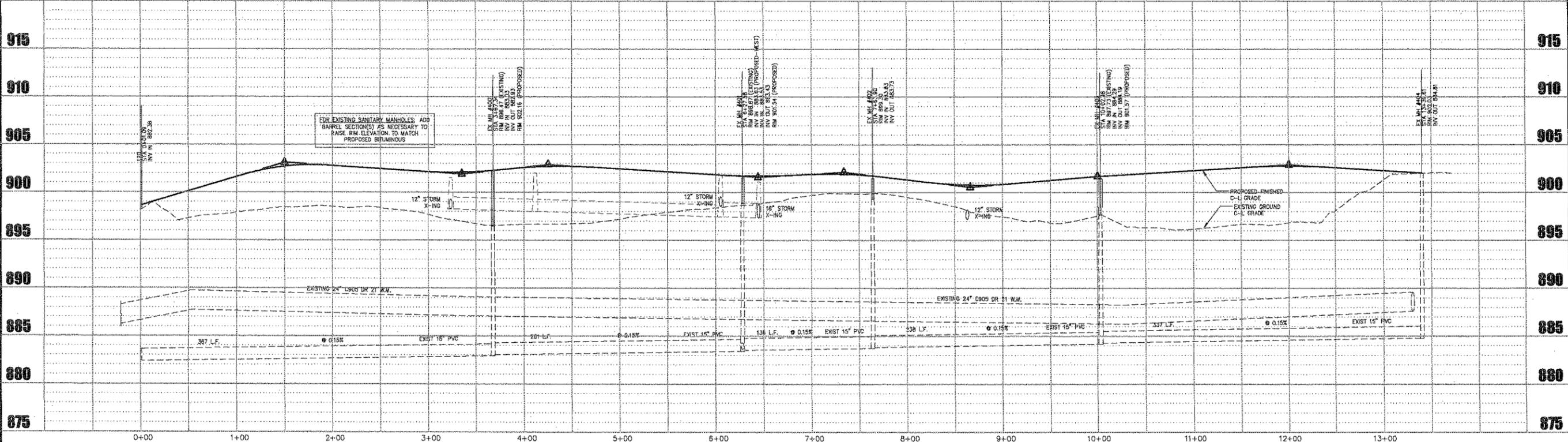
DRAWN BY: A.G.  
 CHECKED BY: A.G.  
 C.W.P. NO. 13-1445  
 ORIGINAL DATE: NOVEMBER 12, 2013



Know what's below.  
 Call before you dig.



# TAYLOR STREET N.E.



DATE	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THE PLAN AND PROFILE SHOWN ARE THE WORK OF A PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA.  
**ADAM GIMKEL**  
 DATE: 11-12-2013 LIC. NO. 46868

**VIKING PRESERVE**  
 EAST BETHEL, MN  
 PLAN PROFILE (SANITARY/WATERMAIN)  
 TAYLOR STREET NE

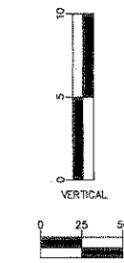
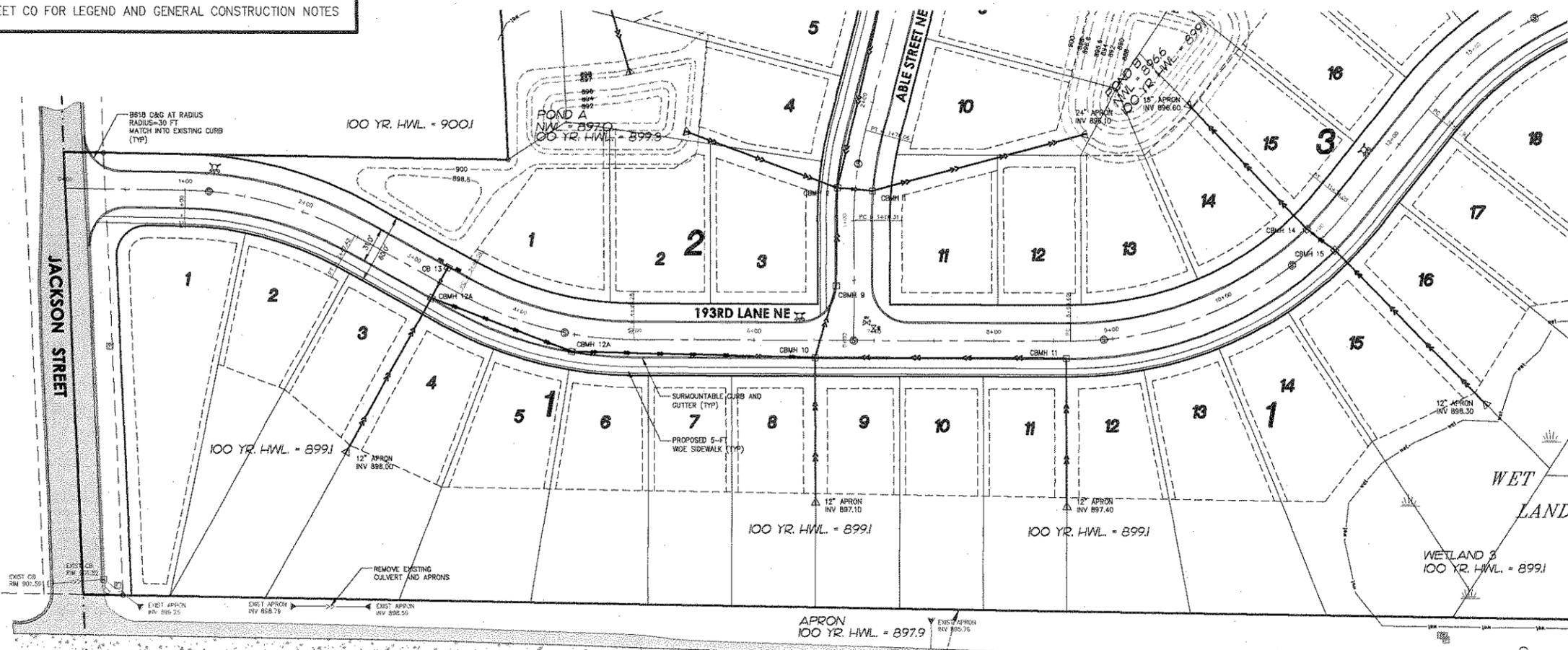
PREPARED FOR:  
**SHAW TRUCKING, INC.**

**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 981-8210  
 FAX: (651) 981-8701

PLAN/PROFILE - TAYLOR STREET NE  
 (SANITARY SEWER & WATERMAIN)  
 VIKING PRESERVE

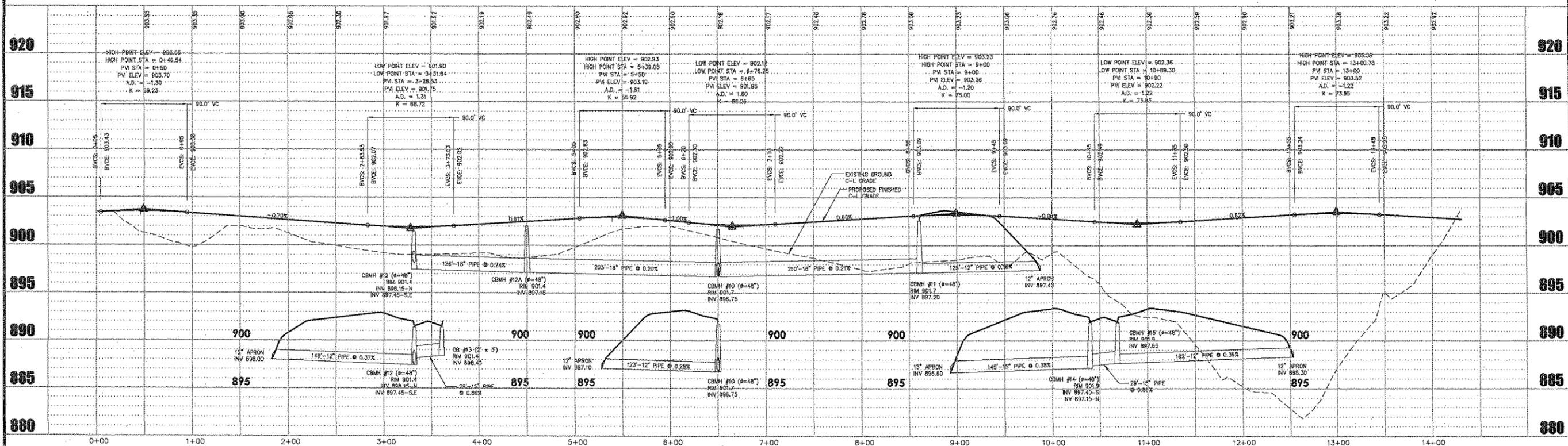
**C1.3**

SEE SHEET C0 FOR LEGEND AND GENERAL CONSTRUCTION NOTES



**811**  
Know what's below.  
Call before you dig.

# 193rd LANE N.E.



PLAN/PROFILE - 193RD LANE NE  
(STORM SEWER & STREET)  
VIKING PRESERVE

DRAWN BY: A.G.  
CHECKED BY: A.G.  
C.W.P. 13-1445  
ORIGINAL DATE: NOVEMBER 12, 2013

DATE	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA.  
**ADAM GAIKEL**  
DATE: 11-12-2013 LIC. NO. 45868

VIKING PRESERVE  
EAST BETHEL, MN  
PLAN PROFILE (STORM/STREET)  
193RD LANE NE

PREPARED FOR:  
SHAW TRUCKING, INC.

**PLOWE**  
ENGINEERING, INC.  
6778 LAKE DRIVE  
SUITE 110  
LIND LAKE, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

**C1.4**

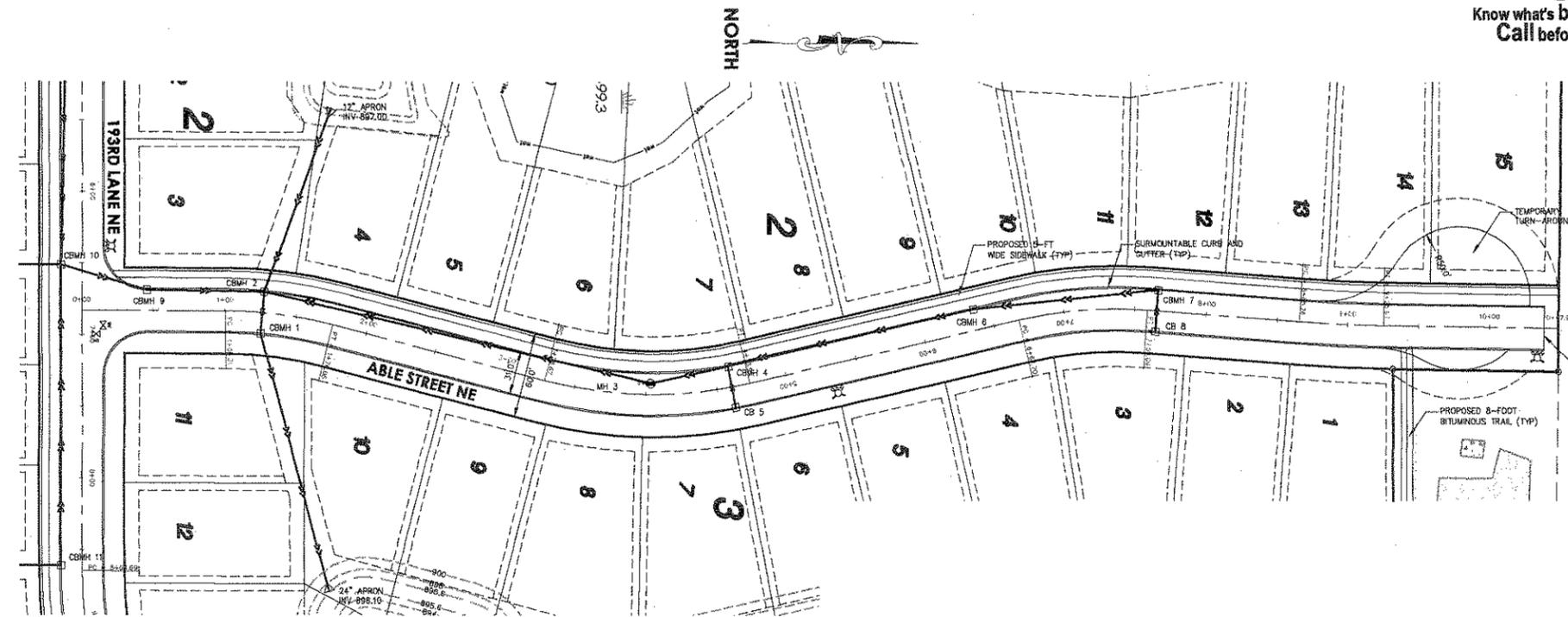
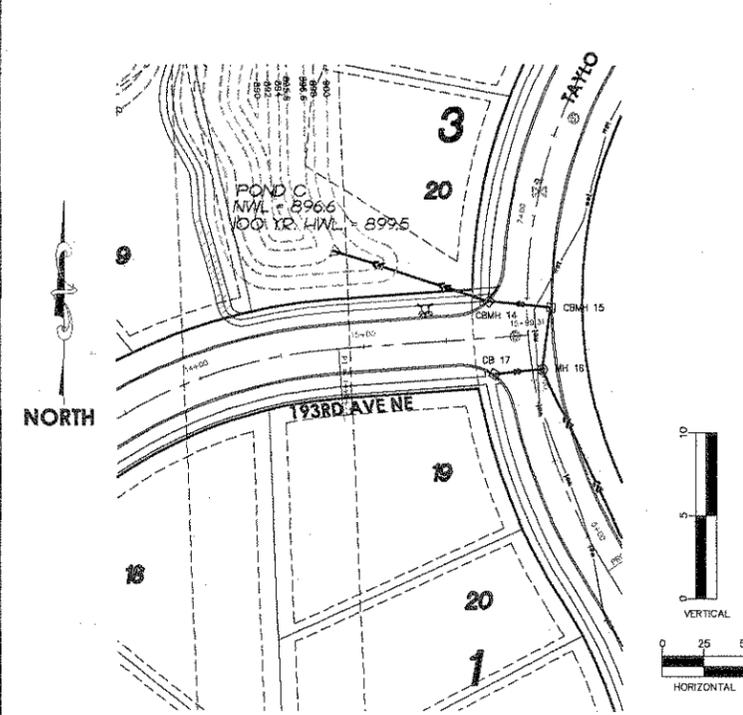


Know what's below.  
Call before you dig.

DRAWN BY: A.G.  
DESIGN BY: A.G.  
CHKD BY: PROJ. NO.  
C.W.P. 13-1445  
ORIGINAL DATE:  
NOVEMBER 12, 2013

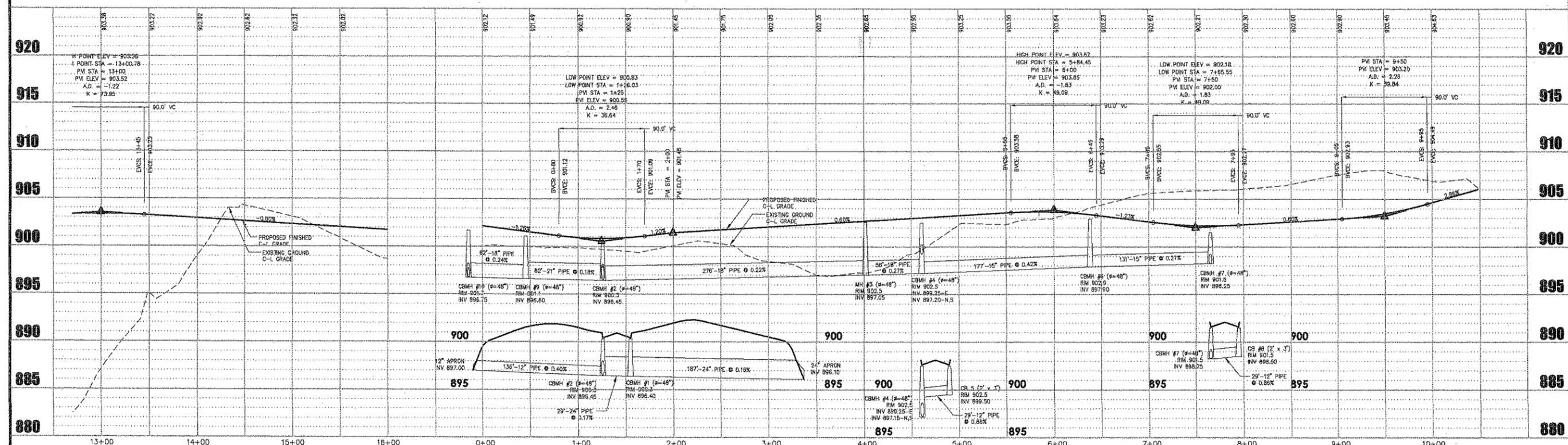
DATE	REVISION DESCRIPTION

WEATHERSWAY  
ADAM GRANEL  
DATE: 11-12-2013 LIC. NO. 48968



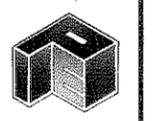
193rd LANE N.E.

ABLE STREET N.E.



VIKING PRESERVE  
EAST BETHEL, MN  
PLAN PROFILE (STORM/STREET)  
193RD LANE NE & ABLE STREET NE

PREPARED FOR:  
SHAW TRUCKING, INC.



PLOWE ENGINEERING, INC.  
8778 LAKE DRIVE  
SUITE 110  
LIND LAKES, MN 56014  
PHONE: (851) 981-8210  
FAX: (851) 981-8701

PLAN/PROFILE - 193RD LANE NE/ABLE STREET NE  
(STORM SEWER & STREET)  
VIKING PRESERVE

C1.5

SEE SHEET C0 FOR LEGEND AND GENERAL CONSTRUCTION NOTES

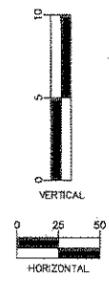
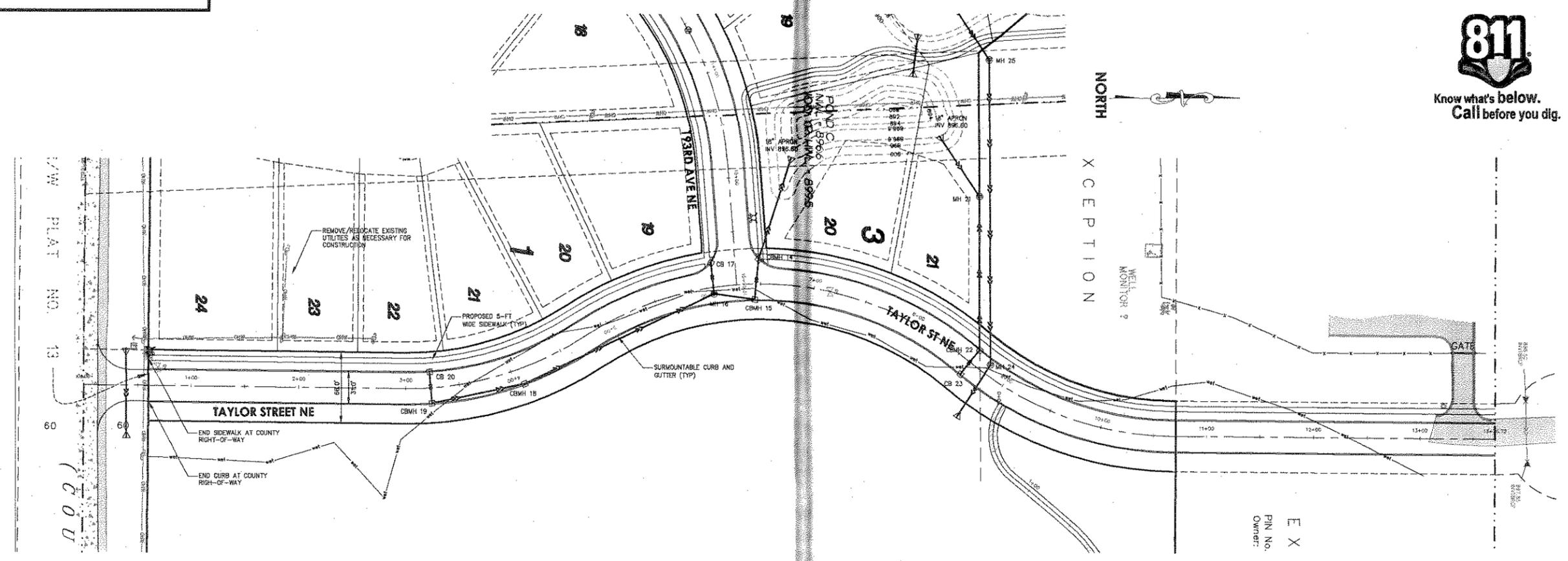


Know what's below.  
Call before you dig.

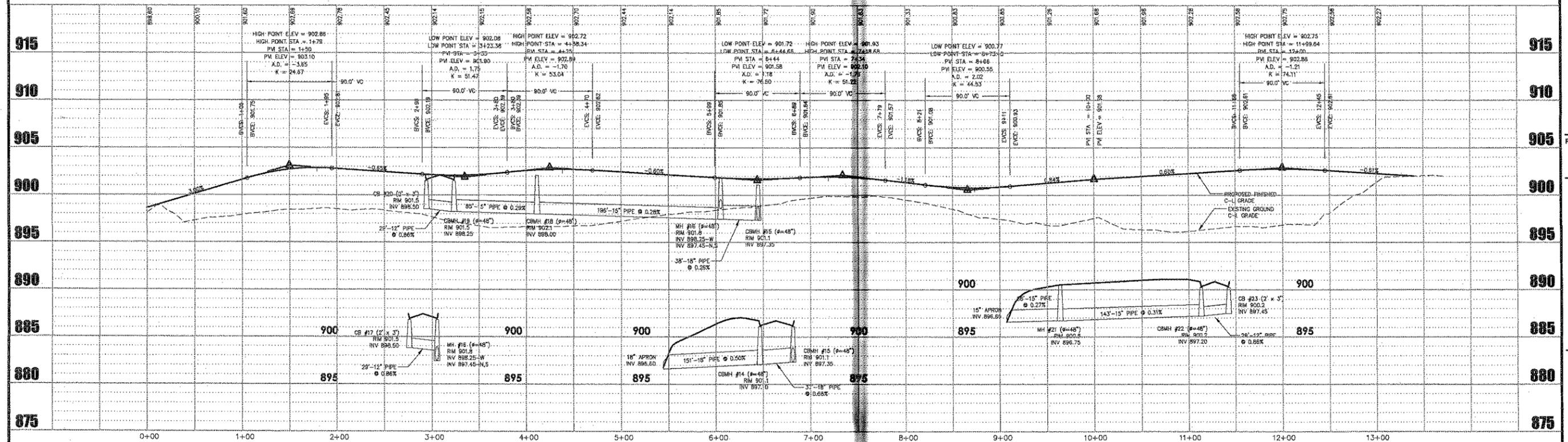
DRAWN BY: A.G.  
DESIGN BY: A.G.  
CHKD BY: PROJ. NO. 13-1445  
C.W.P.  
ORIGINAL DATE: NOVEMBER 12, 2013

DATE	REVISION DESCRIPTION

PLANNING  
ADAM GUNDEL  
DATE: 11.12.2013  
L.O. NO. 42883

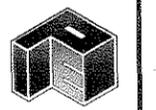


# TAYLOR STREET N.E.



VIKING PRESERVE  
EAST BETHEL, MN  
PLAN PROFILE (STORM/STREET)  
TAYLOR STREET NE

PREPARED FOR:  
SHAW TRUCKING, INC.

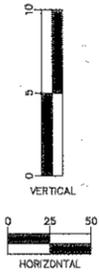


ENGINEERING, INC.  
8778 LANE DRIVE  
SUITE 110  
LINO LAKE, MN 55014  
PHONE: (651) 381-8210  
FAX: (651) 381-8701

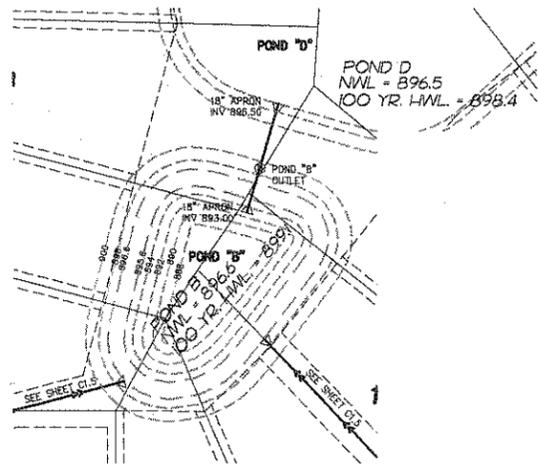
PLAN/PROFILE - TAYLOR STREET NE  
(STORM SEWER & STREET)  
VIKING PRESERVE

**C1.6**

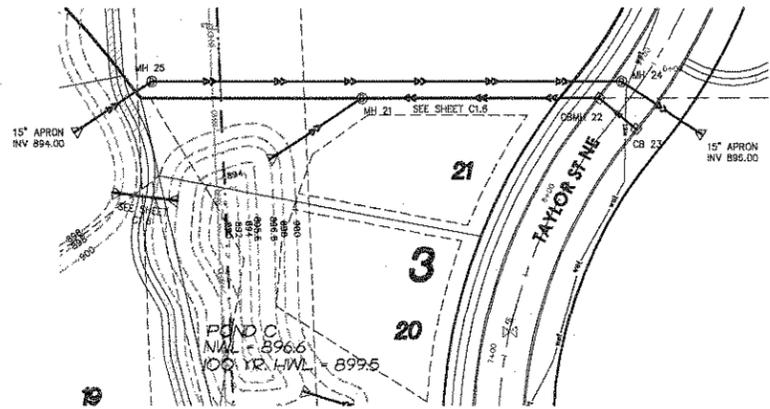
SEE SHEET C0 FOR LEGEND AND GENERAL CONSTRUCTION NOTES



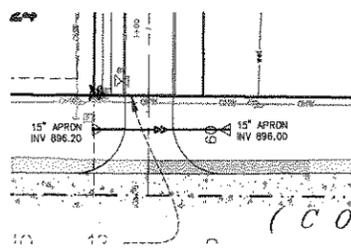
DRAWN BY:	DESIGN BY:
A.G.	A.G.
CHECKED BY:	PROJ. NO.
C.W.P.	13-1445
ORIGINAL DATE:	
NOVEMBER 12, 2013	
DATE	REVISION DESCRIPTION



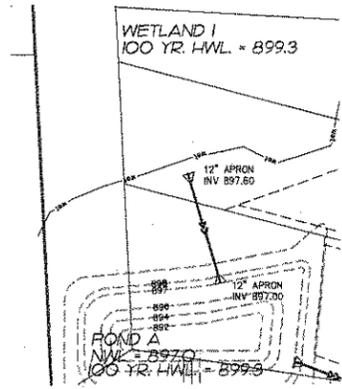
POND "B" OUTLET



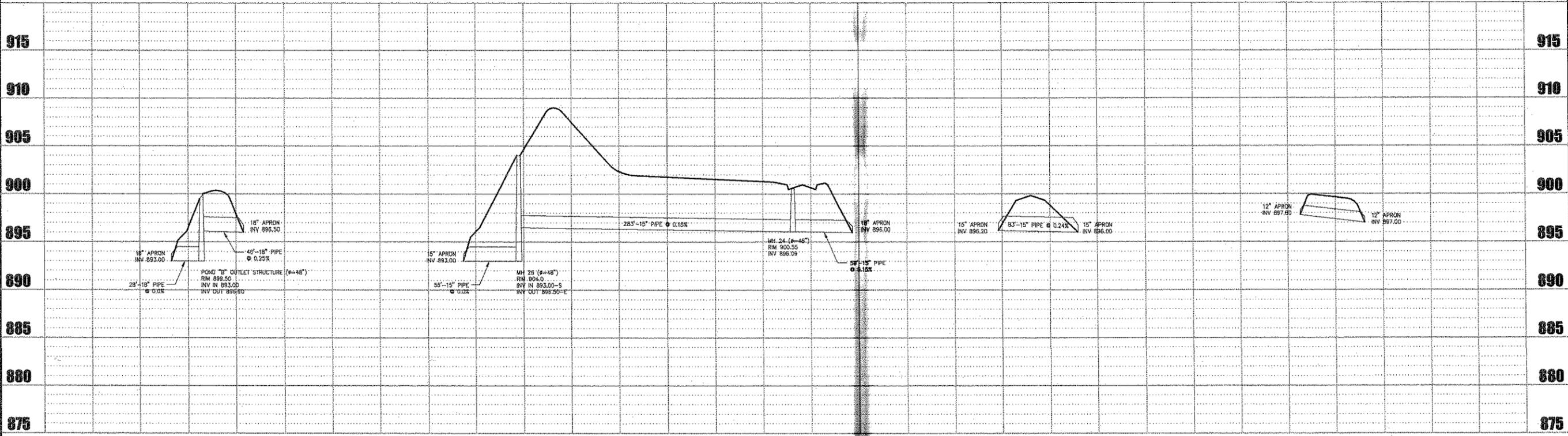
POND "D" OUTLET



CULVERT



WETLAND OUTLET PIPE



I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA.

**ADAM GANKEL**  
L.C. NO. 43863  
DATE: 11/12/2013

VIKING PRESERVE  
EAST BETHEL, MN  
PLAN PROFILE (STORM SEWER)  
MISCELLANEOUS

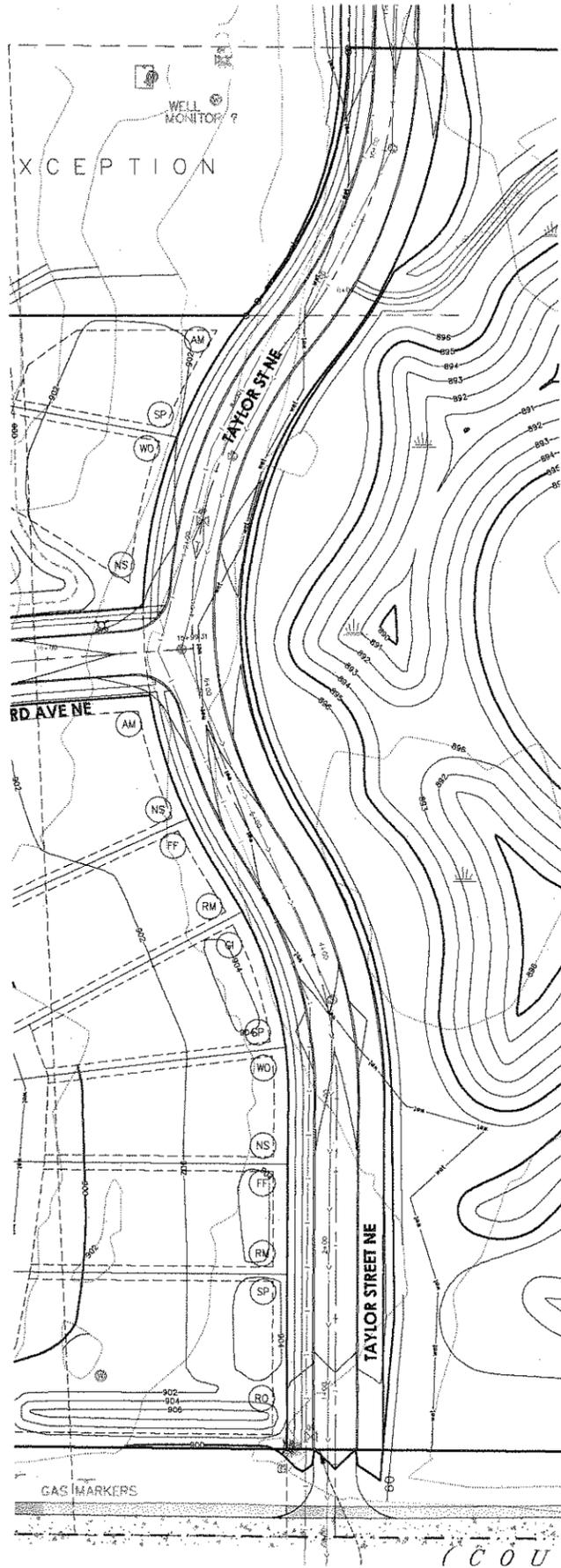
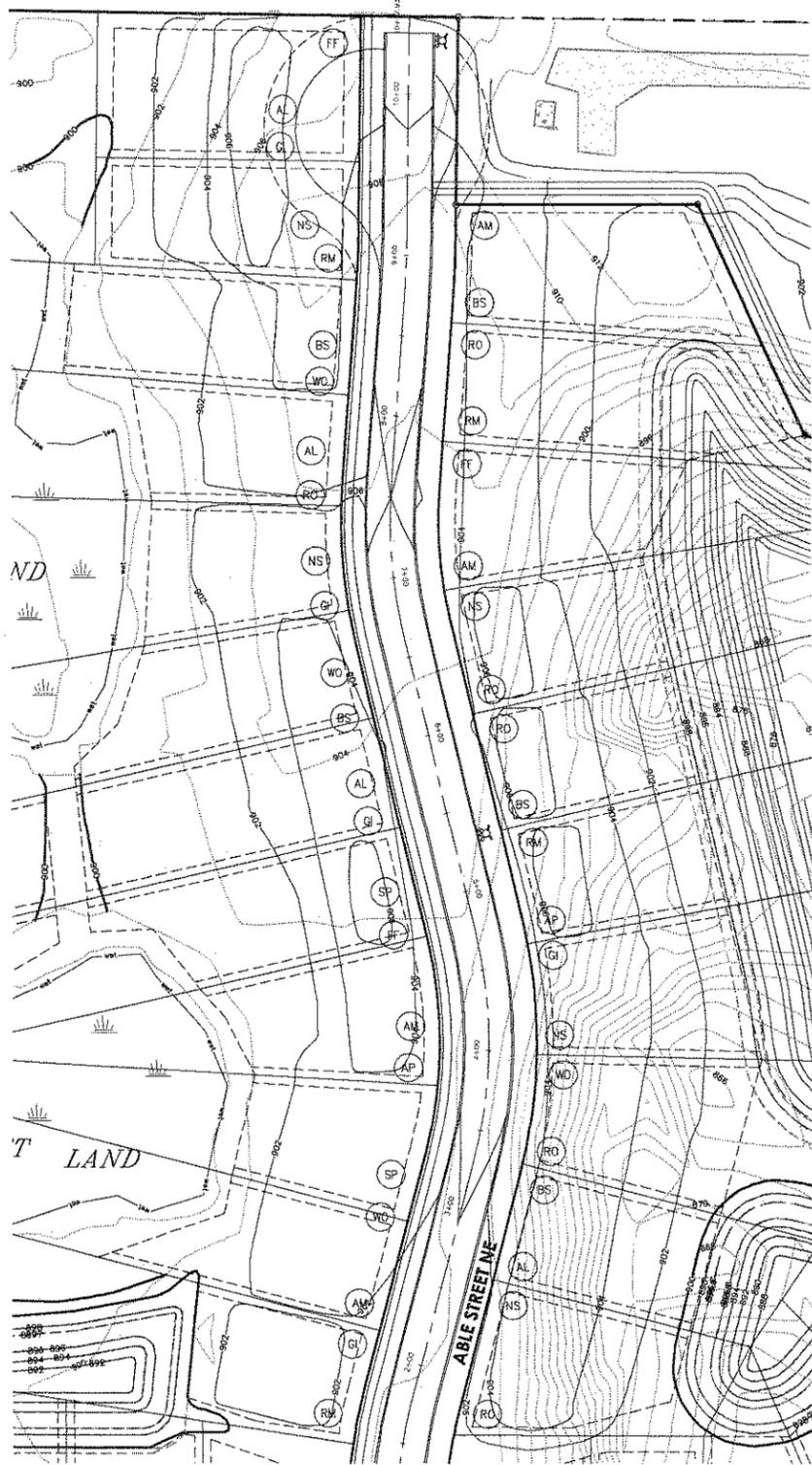
PREPARED FOR:  
SHAW TRUCKING, INC.

**Plowe**  
ENGINEERING, INC.  
8778 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (861) 361-8210  
FAX: (861) 361-8701

PLAN/PROFILE - STORM SEWER  
(MISCELLANEOUS)  
VIKING PRESERVE

**C1.7**





QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE AT INSTALL
11	FR	FRASER FIR	ABIES FRASERI	2-1/2" B&B
12	AM	AMUR MAPLE	ACER GRINNALA	2-1/2" B&B
11	RM	RED MAPLE	ACER RUBRUM	2-1/2" B&B
10	GI	GINKGO	GINKGO BILBOA	2-1/2" B&B
11	BS	BLACK HILLS SPRUCE	PICEA GLAUCA	2-1/2" B&B
10	NS	NORWAY SPRUCE	PICEA ABIES	2-1/2" B&B
11	SP	SCOTCH PINE	PINUS SYLVESTRIS	2-1/2" B&B
7	AP	AUSTRIAN PINE	PINUS NIGRA	2-1/2" B&B
14	WD	WHITE OAK	QUERCUS ALBA	2-1/2" B&B
11	RD	RED OAK	QUERCUS RUBRA	2-1/2" B&B
12	AL	AMERICAN LINDEN	TILIA AMERICANA	2-1/2" B&B

120 PROPOSED TREES

PER SECTION 27 - LANDSCAPE REGULATIONS:

2.A.1) SINGLE-FAMILY (R-1 AND R-2)  
 - A MINIMUM OF TWO BOULEVARD TREES PER LOT SHALL BE PLANTED PRIOR TO  
 ISSUANCE OF CERTIFICATE OF OCCUPANCY.

NOTE: TREES TO BE INSTALLED AFTER BUILDING INSTALLATION  
 EXAMPLE SPECIES SHOWN - VERIFY SPECIES REQUIREMENTS AND AVAILABILITY

DRAWN BY: A.G. DESIGN BY: A.G.  
 CHECKED BY: C.W.P. PROJ. NO. 13-1445  
 ORIGINAL DATE: NOVEMBER 12, 2013

DATE | REVISION DESCRIPTION

**PRELIMINARY**

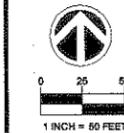
VIKING PRESERVE  
 EAST BETHEL, MN  
 LANDSCAPE PLAN

PREPARED FOR:  
 SHAW  
 TRUCKING, INC.



SITE PLANNING  
 & ENGINEERING  
**PLOWE**  
 ENGINEERING, INC.  
 6778 LAKE DRIVE  
 SUITE 110  
 LIND LAKE, MN 56014  
 PHONE: (651) 361-0210  
 FAX: (651) 361-0701

NORTH



PRELIMINARY LANDSCAPE PLAN  
 VIKING PRESERVE

**C2.2**

DRAWN BY: A.G.  
 DESIGN BY: A.G.  
 CHECKED BY: PROJ. NO. 13-144B  
 C.W.P.  
 ORIGINAL DATE: NOVEMBER 12, 2013

DATE	REVISION DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF MINNESOTA.  
**ADAM GANKEL**  
 LICENSE NO. 48868  
 DATE: 11.12.2013

**LOCAL COMMERCIAL/INDUSTRIAL URBAN STREET SECTION - 10 TON**  
 NO SCALE

R VALUE	ESALS	BITUMINOUS SURFACE WEAR	BASE/BINDER	AGGREGATE BASE
R-70 to R-35	200,000	2"	2"	4"
R-30	175,000	2"	2"	4"
R-20	45,000	2"	2"	4"
R-15	20,000	2"	2"	4"
R-10	20,000	2"	2"	8"
R-5	10,000	2"	2"	10"

LEGEND:  
 \*\* MINIMUM ALLOWABLE DESIGN THICKNESS  
 NOTES:  
 1. R VALUE IS A MEASURE OF EMBANKMENT SOIL RESISTANCE STRENGTH AS DETERMINED BY THE HVEEM STABILOMETER METHOD.  
 2. CUMULATIVE DESIGN LANE 18 KIP ESALS IS THE CUMULATIVE DAMAGE EFFECT OF VEHICLES DURING THE DESIGN LIFE OF A FLEXIBLE PAVEMENT.  
 3. REFER TO STANDARD PLATE 106 FOR SIDEWALK OR TRAIL REQUIREMENTS.

APPROVED: 3-02-05  
 REVIEWED: 8-28-07  
 CITY OF EAST BETHEL  
 STANDARD PLATE No. 102

**RIPRAP PLACEMENT AT OUTLETS**  
 NO SCALE

NOTES:  
 1. SEE SPECIFICATIONS FOR TRASH GUARD REQUIREMENTS.  
 2. SEE MN/DOT STANDARD PLATE 313 FOR RIPRAP QUANTITIES.

APPROVED: 3-02-05  
 REVIEWED:    
 CITY OF EAST BETHEL  
 STANDARD PLATE No. 500

**SILT FENCE INSTALLATION**  
 NO SCALE

APPROVED: 3-02-05  
 REVIEWED:    
 CITY OF EAST BETHEL  
 STANDARD PLATE No. 501

**ROCK CONSTRUCTION ENTRANCE**  
 NO SCALE

APPROVED: 3-02-05  
 REVIEWED:    
 CITY OF EAST BETHEL  
 STANDARD PLATE No. 505

**RAIN GARDEN NOTES:**  
 1. CONTRACTOR TO MARK-OFF GARDEN AREA WITH SILT FENCE OR OTHER VISIBLE MARKERS.  
 2. NO MINING OF SANDY SOILS IN AREA INDICATED.  
 3. MINIMIZE COMPACTION BY USING LOW-IMPACT EARTH MOVING EQUIPMENT (E.G. WIDE TRACK OR MARCH TRACK EQUIPMENT OR LIGHT EQUIPMENT WITH TIRE-TYPE TIRES) IN SHELF AREA.  
 4. FINAL GRADE ONLY UPON STABILIZATION OF UPSTREAM DRAINAGE AREAS.  
 5. ALLEVIATE ANY COMPACTIONED SOILS IN SHELF AREA BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER TO 6" MIN. DEPTH PRIOR TO PLACING.

PROVIDE 3" FIBROUS SHREDDED WOOD CHIPS AROUND NEW PLANTINGS  
 PLANT MATERIAL TOLERANT OF FLOODING AND DROUGHT (NATIVE PLANTS RECOMMENDED-SEE TABLE AT RIGHT) OR USE MnDOT SEED MIX 328 (APPLICATION RATE=88 LBS/ACRE) - PLANTINGS RECOMMENDED OVER SEED MIX  
 IN-SITU SOILS  
 EROSION CONTROL BLANKET SUITABLE FOR SEEDING (E.G. STRAW-COCONUT BLANKET)  
 MIN. 70% GRANULAR MATERIAL

NOTE: ALLEVIATE ANY COMPACTIONED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO 6" MIN. DEPTH PRIOR TO PLACING PLANTING MEDIA

**RAIN GARDEN**  
 N.T.S.

**RAIN GUARDIAN BUNKER TYPICAL DETAIL**  
 PATENT PENDING

**PLAN VIEW**  
 PATENT PENDING

**CROSS-SECTION VIEW**  
 PATENT PENDING

SLAB DIMENSIONS, DISTANCE FROM CURB, AND CHAMBER ELEVATION MAY VARY WITH SITE CONDITIONS. THE TOP OF THE METAL GRATE, HOWEVER, SHOULD BE 1.5" - 2" BELOW THE OVERFLOW ELEVATION AND THE CONCRETE SLAB SHOULD EXTEND WELL BEYOND THE FILTER WALL TO SERVE AS A SPLASH DISSIPATER.

VIKING PRESERVE  
 EAST BETHEL, MN  
 DETAILS

PREPARED FOR:  
 SHAW TRUCKING, INC.

**PLOWE ENGINEERING, INC.**  
 8778 LAKE DRIVE  
 SUITE 110  
 LINO LAKE, MN 55014  
 PHONE: (861) 361-8210  
 FAX: (861) 361-8701







# City of East Bethel Planning Commission Agenda Information

\*\*\*\*\*

**Date:**

November 26, 2013

\*\*\*\*\*

**Agenda Item Number:**

Item 4.0

\*\*\*\*\*

**Agenda Item:**

Variance request from side yard setbacks for construction of new home and new septic system.

\*\*\*\*\*

**Requested Action:**

Make recommendation to City Council for a Variance to Joseph and Jane Morgan from side yard setbacks on both the west and east side of their properties for the construction of a new home and septic system.

\*\*\*\*\*

**Background Information:**

**Property Owner/Applicant:**

Joseph and Jane Morgan  
3710 Edmar Lane  
East Bethel, MN 55092

**Property Location:**

3710 Edmar Lane  
PIN 35-33-23-21-0012  
Lot 12, Block 1, Edwards Beach

The applicants, Joseph and Jane Morgan are requesting two different variances (both side yard setbacks) to construct a new home and septic system on their property. Mr. and Mrs. Morgan purchased the above reference property and torn down an old cabin on the property. They now wish to construct a new home and install a new septic system that will replace a non-compliant system. Because this property is located in the Shoreland Management District, they are required to have the house constructed 75 feet from the ordinary high water mark on Coon Lake. They are also required to have the house setback a minimum of 20 feet from the septic system. However in this case, the garage is located on the front of the house, and that portion of the structure is allowed to be located 10 feet from the septic system. In addition, the City requires that a proposed septic system be setback from the front property line a minimum of 10 feet. Mr. and Mrs. Morgan are complying with all of those setbacks. However, due to the need to meet those standards, they need to request variance on both sides of the property. Normal side yard setback requirements are 10 feet and the Morgans' home will be located 5 feet from the west property line, and the proposed edge of the drain field will be located 8 feet from the east property line. This lot is very narrow and long, and due to the unique geography and the location of where the septic needs to be put on the property because of the design, there is no other appropriate location on the lot for the septic, so therefore the following are the variance requests:

- 5 foot variance from the normal side yard setback of 10 feet on the west side of the property for construction of a home
- 2 foot variance from the normal side yard setback of 10 feet on the east side of the property for the construction of a drain field.

Per the following:

- a. To hear requests for variances from the literal provisions of the ordinance in instances where their strict enforcement would cause undue hardship because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions will be in keeping with the spirit and intent of the ordinance. "Undue hardship" as used in conjunction with the granting of a variance means the property in question cannot be put to a reasonable use if used under conditions allowed by the official controls, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone shall not constitute an undue hardship if reasonable use for the property exists under the terms of the ordinance. Undue hardship also includes, but is not limited to, inadequate access to direct sunlight for solar energy systems.

\*\*\*\*\*

**Attachments:**

- 1. Location Map
- 2. Application
- 3. Site Plan/Certificate of Survey
- 4. Letter from Homeowners

\*\*\*\*\*

**Fiscal Impact:**

Not Applicable

\*\*\*\*\*

**Recommendation(s):**

Staff recommends that the Planning Commission approve Mr. and Mrs. Morgan's variance requests as outlined above.

\*\*\*\*\*

**Planning Commission Action:**

Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Vote Yes: \_\_\_\_\_ Vote No: \_\_\_\_\_

No Action Required: \_\_\_\_\_



**NOTICE OF PUBLIC HEARING  
CITY OF EAST BETHEL PLANNING COMMISSION  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of East Bethel will hold a public hearing on Tuesday, November 26, 2013, 7:00 p.m. at the City Hall, 2241 221<sup>st</sup> Avenue NE, East Bethel, MN. The hearing will be to consider the request by owner/applicant, Joseph and Jane Morgan, to obtain a Variance for side yard setbacks. The current Zoning Classification is R1 – Single Family Residential in the Shoreland Overlay District, 3710 Edmar Lane NE, PID No. 353323210012

The hearing of this request is not limited to those receiving copies of this notice. If you know of any neighbor or interested property owner who for any reason has not received a copy, it would be appreciated if you would inform them of this public hearing.

Published in the Anoka Union  
November 15, 2013.

Subscribed and sworn to me  
this 8<sup>th</sup> day of November 2013.

Colleen Winter  
Community Development Director

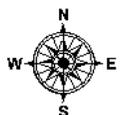
Carrie Frost  
Notary Public



# Morgan Parcel Map



Disclaimer: Maps and documents made available to the public by the City of East Bethel are not legally recorded maps or surveys and are not intended to be used as such. The maps and documents are created as part of the Geographic Information System (GIS) that compiles records, information, and data from various city, county, state and federal resources.  
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# LAND USE APPLICATION

<i>OFFICE USE ONLY</i>	
Date Rec'd	_____
By	_____
Fee \$	_____

Check appropriate box:

VARIANCE

CUP

IUP

FINAL PLAT

BUSINESS CONCEPT PLAN

PRELIMINARY PLAN

SITE PLAN REVIEW

OTHER \_\_\_\_\_

Application shall include the following items and be submitted thirty (30) days prior to scheduled meeting date.

Application is hereby made for \_\_\_\_\_ (provide narrative below describing proposed use).

LOCATION: PID 35 3323210012 Legal: Lot 12 Block 1 Subdivision Edwards Beach

PROPERTY ADDRESS: 3710 - Edmar Lane PRESENT ZONING: \_\_\_\_\_

**PROPERTY OWNER**

CONTACT NAME Joseph & Jane Morgan PHONE 651-464-1917

ADDRESS 170 Ivy Rd FAX \_\_\_\_\_

CITY/STATE/ZIP East Bethel MN 55092 E-MAIL JandJ.Morg@msk.com

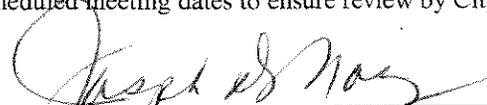
**APPLICANT**

CONTACT NAME Joseph & Jane Morgan PHONE 651-464-1917

ADDRESS 170 Ivy Rd FAX \_\_\_\_\_

CITY/STATE/ZIP East Bethel MN 55092 E-MAIL JandJ.Morg@msk.com

I fully understand that I must meet with City Staff to review all submission requirements and conditions prior to official submission, and that all of the required information must be submitted at least thirty (30) days prior to the Planning/Zoning Commission and City Council scheduled meeting dates to ensure review by City Staff.

  
 \_\_\_\_\_  
 Property Owner's Signature

Joseph D. Morgan  
 \_\_\_\_\_  
 Printed Name

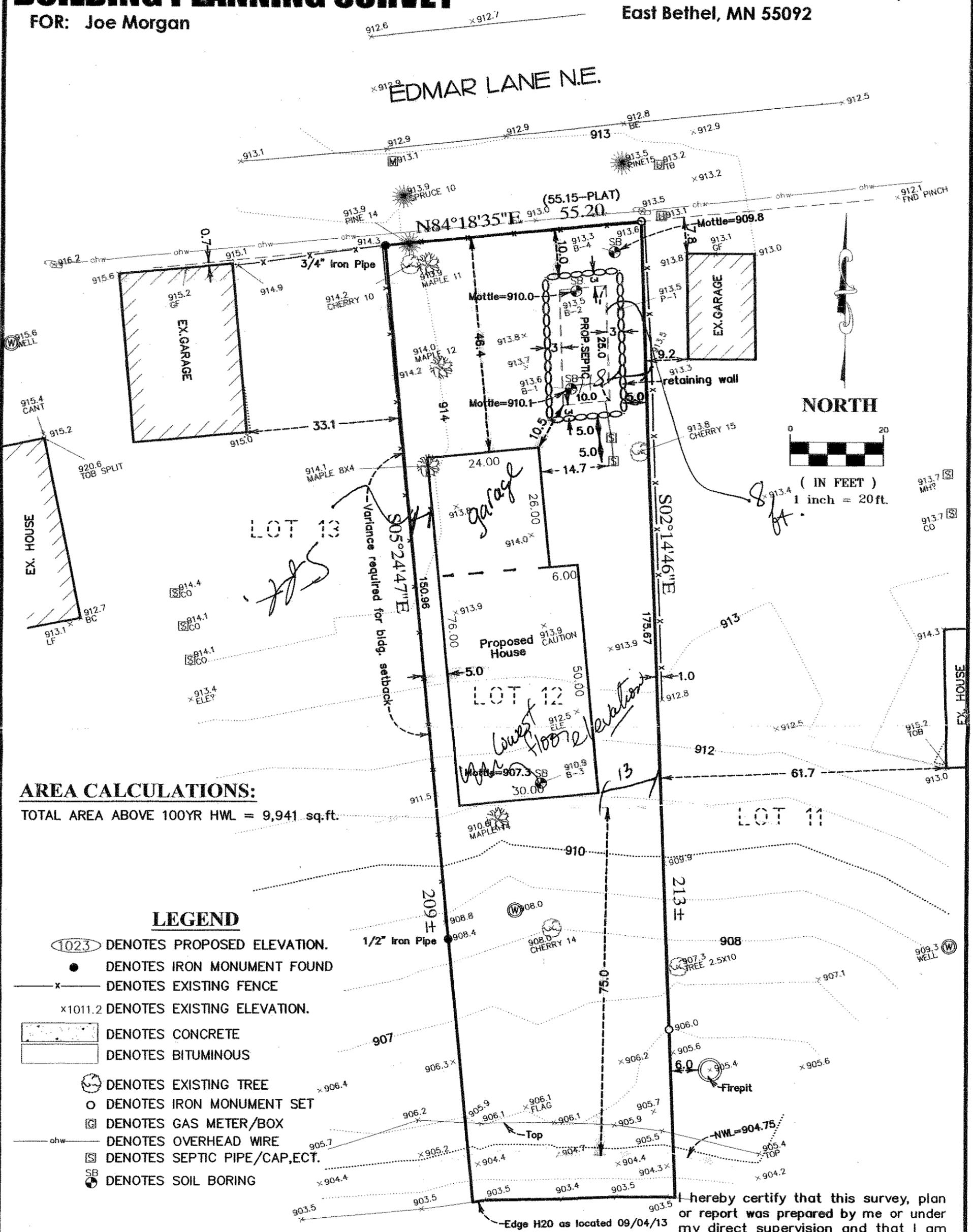
\_\_\_\_\_  
 Date

<i>OFFICE USE ONLY - DO NOT COMPLETE</i>			
	Received	Approved/Denied	Notes
Community Dvlp.	_____	_____	
Planning Commission	_____	_____	
City Council	_____	_____	
_____ 60 Day _____ 120 Day			

# BUILDING PLANNING SURVEY

PROPERTY ADDRESS: 3710 Edmar Lane N.E.,  
East Bethel, MN 55092

FOR: Joe Morgan



## AREA CALCULATIONS:

TOTAL AREA ABOVE 100YR HWL = 9,941 sq.ft.

## LEGEND

- 1023 DENOTES PROPOSED ELEVATION.
- DENOTES IRON MONUMENT FOUND
- x— DENOTES EXISTING FENCE
- x1011.2 DENOTES EXISTING ELEVATION.
- DENOTES CONCRETE
- DENOTES BITUMINOUS
- DENOTES EXISTING TREE
- DENOTES IRON MONUMENT SET
- DENOTES GAS METER/BOX
- ohw— DENOTES OVERHEAD WIRE
- DENOTES SEPTIC PIPE/CAP, ECT.
- SB ○ DENOTES SOIL BORING

## EXISTING PROPERTY DESCRIPTION

Lot 12, Block 1, EDWARDS BEACH, Anoka County, Minnesota.

## NOTES

- Bearing's shown are on assumed datum.
- Field survey conducted on Sept. 3rd, 2013, boring loc. 10/14/13.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.
- Curb shots taken at top and back of curb.

**JOB #13566**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Eric R. Vickaryous*  
ERIC R. VICKARYOUS

Date: Sept. 20th, 2013 Reg. No. 44125

**ACRE LAND SURVEYING**  
Serving Twin Cities Metro  
area and beyond  
763-458-2997 acrelandsurvey@gmail.com

Joe & Jane 651 4641917

To The Members Of The Planning Commission,

We are Joe and Jane Morgan, have lived in East Bethel for eleven years at 170 Ivy Road.

We are planning to build a new retirement home on a vacant Lot at 3710 Edmar Lane in East Bethel.

Due to the narrow size of the lot 55' x 204' we are in great need of permission for the variances on the property in order to make the style of home fit the property, as you can see according to the surveyed print.

We are asking for variances of five feet on both sides of the property. We have already spoken to both of the neighbors on each Side of the property and they have granted us the variances.

Thank you for your time and patients, Joe and Jane Morgan



# City of East Bethel Planning Commission Agenda Information

\*\*\*\*\*

**Date:**

November 26, 2013

\*\*\*\*\*

**Agenda Item Number:**

Item 5.0

\*\*\*\*\*

**Agenda Item:**

Public Hearing: Interim Use Permit for Agri-business in an R2 district

\*\*\*\*\*

**Requested Action:**

Consider Granting an Interim Use Permit (IUP) to Bruce and Sharon Johnson, d/b/a Minnesota Fresh Farm to operate an Agri-tourism business that includes pumpkin patch, corn maze, and u pick berries.

\*\*\*\*\*

**Background Information:**

**Property Owner/Applicant:**

Bruce and Sharon Johnson  
20241 Highway 65 NE  
East Bethel, MN 55005-9772

**Property Location:**

20241 Highway 65 NE  
PIN 20-33-23-130001  
PIN 20-33-23-140001

The applicants, Bruce and Sharon Johnson owners of Minnesota Fresh Farm would like to open up an agri-tourism business on their family farm. Plans in 2014 include U-pick strawberries and raspberries, a Pumpkin Patch, a child's Corn Maze, and other family activities. Long term plans include renting out space for weddings, renovation of an existing barn to accommodate a small retail area, cooking and food preparation classes.

The Zoning designation on the Johnson property is R2 (single and two family zoning). While Public Recreation is listed as a permitted use in the R2 zoning district, Private Recreation is not. The existing zoning classification on the Johnson property does not make sense given that the primary use of the property has been agriculture and that it is in an area that is also designated as a Significant Natural Environment Overlay district. The type of use that the Johnsons' are proposing for this property is much better suited for the type of property that it is rather than higher density residential. There are other areas along the Highway 65 corridor that are much better suited for residential development now and long term. The property that is immediately north of Johnson's and the property to the south of Johnson's that abuts Highway 65 is zoned B-2 (Highway Commercial) which makes sense given their location in the corridor. Johnsons' property should also have that same or similar zoning designation. In order to meet Johnsons' short term needs an Interim Use Permit would be appropriate.

\*\*\*\*\*

**Attachments:**

- 1. Location Map
- 2. Application
- 3. Site Plan
- 4. Business Plan

\*\*\*\*\*

**Recommendation:**

City Staff is requesting the Planning Commission recommend approval to the City Council that an IUP be granted to the Johnsons for the operation of an Agri-tourism business subject to the following conditions:

- 1. An Interim Use Permit Agreement must be signed and executed by the property owner and the City.
- 2. Property owner shall provide access and parking from the second driveway entrance off of Klondike Ave NE.
- 3. That all parking shall be located on site and not on Klondike Avenue
- 4. Hours of Operations:
  - a. Friday 11 am – 7 pm
  - b. Saturday 9 am – 5 pm
  - c. Sunday 9 am – 5 pm
- 5. Property owner shall obtain appropriate permits for signage as outlined in the Sign Ordinance Section 54-8 Central Business District.
- 6. Property owner shall obtain all appropriate building permits and comply with applicable building and fire code requirements.
- 7. Interim Use Permit shall be granted for a period of 2 years, beginning on the date the IUP is approved by City Council.
- 8. Permit shall expire when:
  - a. The property is sold, or
  - b. Non-compliance of IUP conditions
- 9. Property will be inspected and evaluated annually by City staff.

**Further City Staff will work with the Johnsons to expedite the rezoning of their property to a zoning designation that is more appropriate to their proposed use and to the overall area as it relates to the Highway 65 corridor.**

\*\*\*\*\*

**Planning Commission Action**

Motion by: \_\_\_\_\_ Second by: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Vote Yes: \_\_\_\_\_ Vote No: \_\_\_\_\_

No Action Required: \_\_\_\_\_



**NOTICE OF PUBLIC HEARING  
CITY OF EAST BETHEL PLANNING COMMISSION  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of East Bethel will hold a public hearing on Tuesday, November 26, 2013, 7:00 PM, at the City Hall, 2241 221<sup>st</sup> Avenue NE, East Bethel, MN. The hearing will be to consider the request by owner/applicant, Bruce and Sharon Johnson, d/b/a Minnesota Fresh Farm, to obtain an Interim Use Permit to operate Agri-tourism activities including but not limited to, Pumpkin Patch, Corn Maze, and U Pick Berries. The location being 20241 Hwy 65 NE, East Bethel, MN 55011, PIN 203323130001 and 203323140001. The Zoning Classification is Single Family and Townhouse (R-2) District.

The hearing of this request is not limited to those receiving copies of this notice, and if you know of any neighbor or interested property owner, who for any reason has not received a copy, it would be appreciated if you would inform them of this public hearing.

Published in the Anoka County Union  
November 15, 2013.

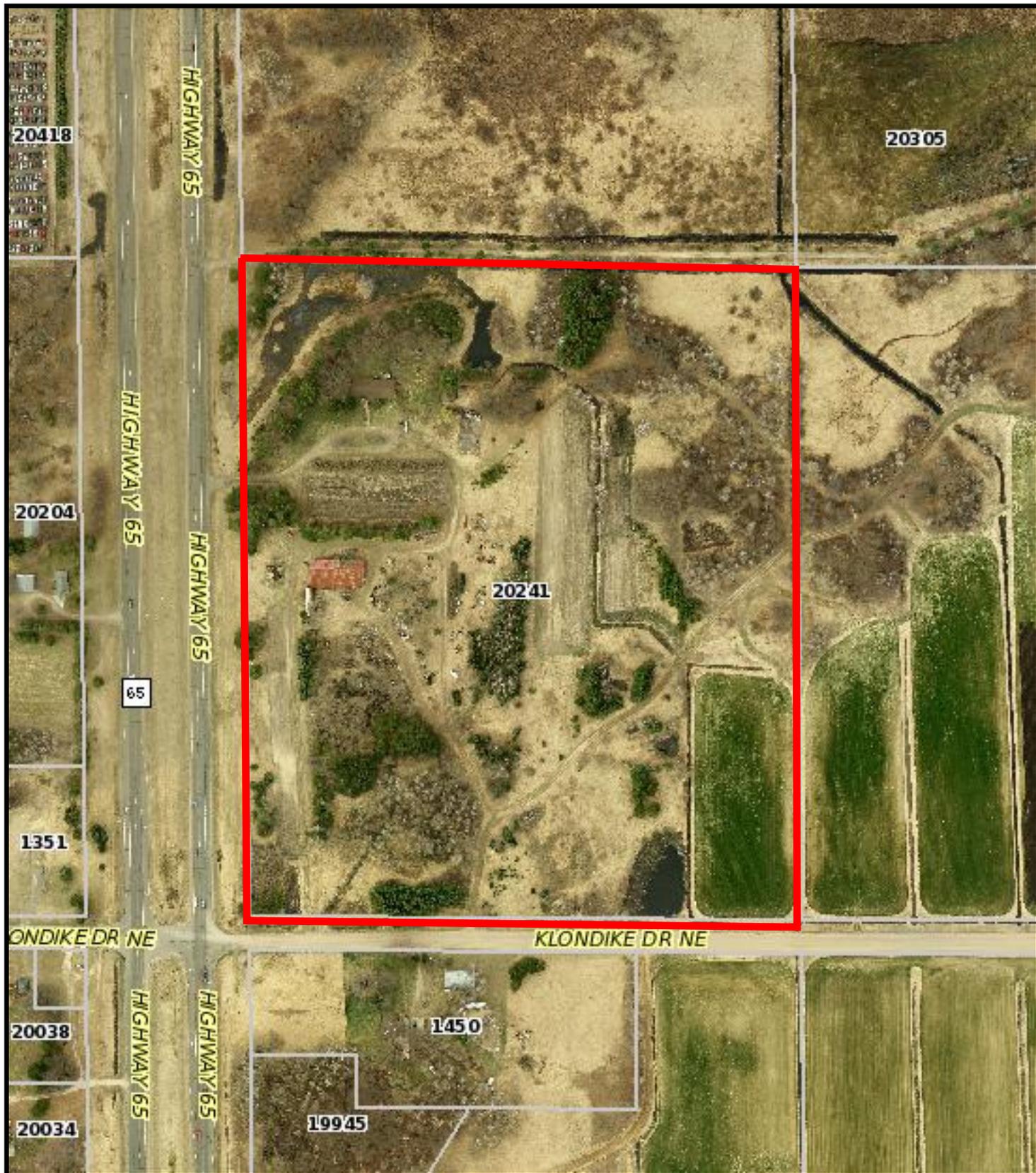
Subscribed and sworn to me  
this 8<sup>th</sup> day of November 2013.

Colleen Winter  
Community Development Director

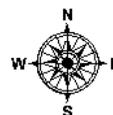
Carrie Frost  
Notary Public



# MN Fresh Farm Parcel Map



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# LAND USE APPLICATION

**OFFICE USE ONLY**  
 Date Rec'd 11/7/13  
 By CF  
 app fee \$150  
 Fee \$ escrow \$300

Check appropriate box:  VARIANCE  CUP  IUP  FINAL PLAT

BUSINESS CONCEPT PLAN  PRELIMINARY PLAN  SITE PLAN REVIEW  OTHER \_\_\_\_\_

Application shall include the following items and be submitted thirty (30) days prior to scheduled meeting date.

Application is hereby made for Minnesota Fresh LLC (provide narrative below describing proposed use).  
to operate a farm stand, U pick operation  
Family activities on the premises

RECEIVED  
NOV 07 2013

LOCATION: PID 20-33-23-14-000 Legal: Lot SW 1/4 of Sec 20, Twp 33, Rge 23  
SE 1/4 of Sec 20, Twp 33, Rge 23 Block \_\_\_\_\_ Subdivision \_\_\_\_\_

PROPERTY ADDRESS: 20241 Hwy 65 NE PRESENT ZONING: R2

PROPERTY OWNER Bruce Johnson, Chief Manager  
Sharon Johnson, Executive Vice President

CONTACT NAME Minnesota Fresh LLC PHONE 612-735-5459

ADDRESS 20241 Hwy 65 NE FAX \_\_\_\_\_

CITY/STATE/ZIP Cedar, MN 55011 E-MAIL sharon@minnesota  
freshfarm.com

APPLICANT Bruce Johnson  
 CONTACT NAME Sharon Johnson PHONE 612-735-5459

ADDRESS 20241 Hwy 65 NE FAX \_\_\_\_\_

CITY/STATE/ZIP Cedar, MN 55011 E-MAIL sharon@minnesota  
freshfarm.com

I fully understand that I must meet with City Staff to review all submission requirements and conditions prior to official submission, and that all of the required information must be submitted at least thirty (30) days prior to the Planning/Zoning Commission and City Council scheduled meeting dates to ensure review by City Staff.

Bruce Johnson  
Chief Manager Minnesota  
 Property Owner's Signature FRESH LLC

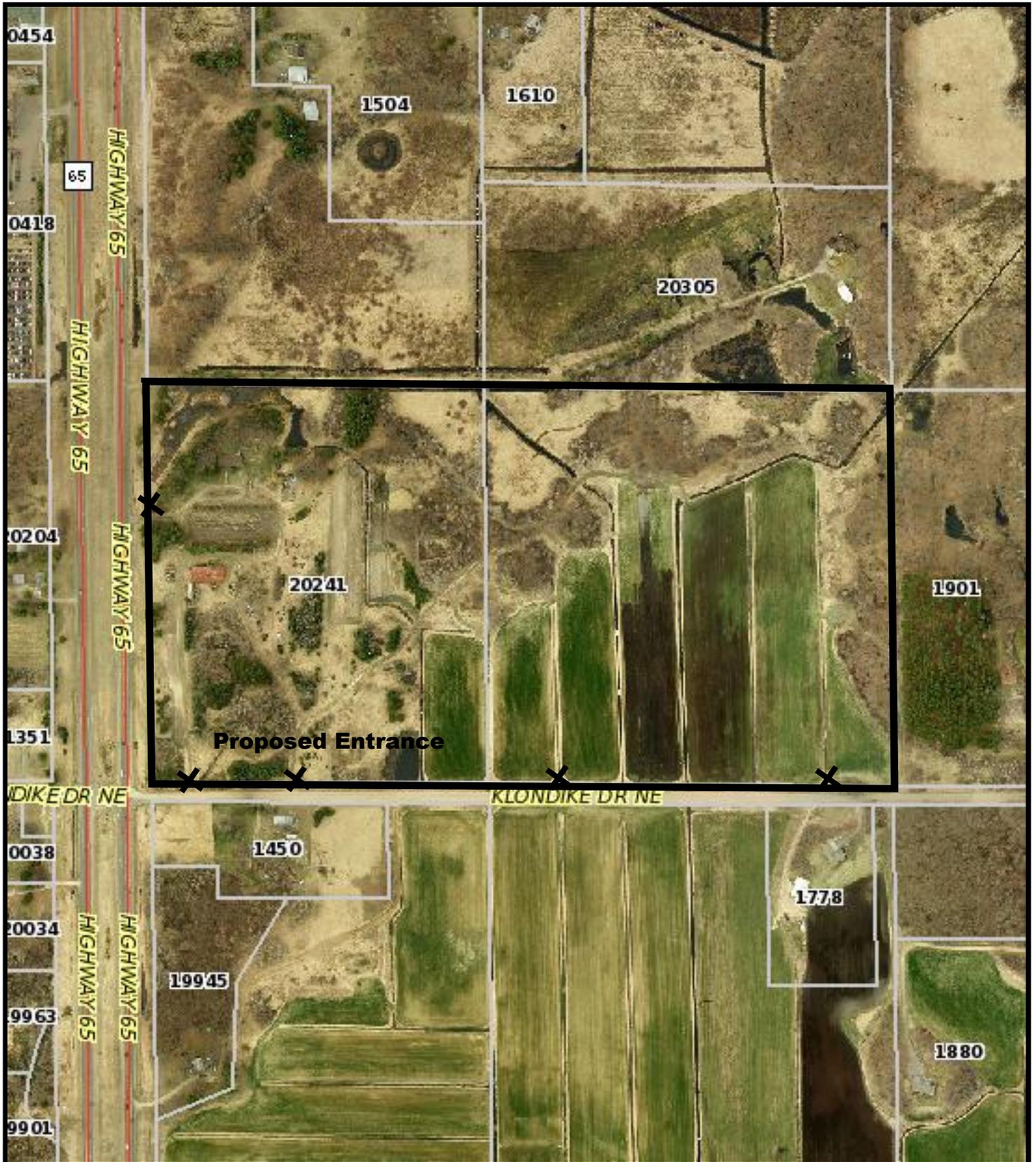
BRUCE JOHNSON  
 Printed Name

11/8/13  
 Date

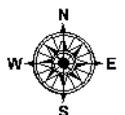
OFFICE USE ONLY - DO NOT COMPLETE			
	Received	Approved/Denied	Notes
Community Dvlp.	_____	_____	
Planning Commission	_____	_____	
City Council	_____	_____	
<u>01/06/14</u> 60 Day _____ 120 Day _____			



# MN Fresh Farm Site Plan



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# Minnesota Fresh Farm Business Plan

## Executive Summary

Minnesota Fresh Farm is a produce farm with the goal of providing naturally grown fruits and vegetables to consumers. Plans include the introduction of Agri-tourism activities including, but not limited to, Pumpkin Patch, Corn Maze, and U Pick Berries. Long term plans include a retail store that focuses on Minnesota food and beverage products, along with Minnesota made merchandise and gardening, cooking and food preservation classes. There is also consumer interest in holding weddings on the farm.

The property on which the farm operates has been worked by the Johnson family for four generations. It is located at 20241 Highway 65 NE in East Bethel, Minnesota.

Minnesota Fresh Farm balances the health benefits of chemical-free farming with the obstacles of insects, blight, and the need to regenerate the soil. Herbicides are not used at all, and pesticides are only used when conforming to organic standards. Nitrogen fertilizer is used instead of other natural fertilizers. We present our produce to consumers as "naturally grown."

In 2014, Minnesota Fresh Farm will offer U Pick strawberries and raspberries, a Pumpkin Patch, a child's Corn Maze, and other family activities. Long range plans included renting out a wedding site on the property. However, we have already received one inquiry for 2014 without marketing the service.

Beginning in 2014, Minnesota Fresh Farm will renovate the existing barn to accommodate a small retail area for additional Minnesota products and gardening, cooking and food preservation classes. These activities will be added in 2015.

The keys to success for Minnesota Fresh Farm are its customer loyalty, location on Highway 65 in East Bethel, the growing interest in naturally grown food, and families' desires to reconnect with nature by participating in outdoor activities.

Minnesota Fresh, LLC dba Minnesota Fresh Farm is a limited liability company owned by Bruce and Sharon Johnson, husband and wife. The Johnsons own the 72 acre farm, free and clear, and have sufficient liquid assets for the purchase of capital equipment and construction without the need for additional bank financing. Luke and Liz Johnson assist in the business. They are the son and daughter-in-law of Bruce and Sharon Johnson.

Entering into this venture will not be easy; vegetable farming in and of itself requires long hours and brings little financial return. Adding business elements of managing retail produce sales, agri-tourism activities, and an eventual retail merchandise operation will require much planning, hired labor and investment of a substantial amount of capital.

In order to maximize the potential for success, the company will improve the property from its current state. In addition to the renovations to the barn, there is considerable physical clean up to be done to areas that are accessible by the public. A well will be installed in 2014 for irrigation and eventual needs for the retail space. Thousands of strawberry plants and hundreds of raspberry bushes have already been established, and this will be repeated in 2014 and beyond. Apple trees will be planted to provide a barrier where the sewer project removed trees close to the highway in 2013. There are approximately 15 acres opened to vegetable and fruit production, with more fields to be opened in 2014

The company uses a comprehensive marketing, advertising and promotion campaign that maximizes social-media marketing, internet presence and agricultural associations such as Minnesota Grown. Farmers markets within a limited geographic radius are an important source of new customers.

The company plans to offer its products at a slightly higher price than found in grocery stores. This is to provide credibility to its clients as offering naturally grown food and supports the additional labor that goes into producing it.

# Minnesota Fresh Farm Business Plan

## 1.1 Keys to Success

- Customer Loyalty: Every customer who buys food or participates in an activity once should want to return and recommend the farm. Word-of-mouth marketing is a powerful tool.
- Location: The business is easily visible from Highway 65 in East Bethel. Traffic volume is close to 30,000 vehicles per day. There are currently five entrances to the property - one directly from Highway 65 and four from Klondike Drive, a city street that connects to the highway.
- Growing interest in naturally grown food: As baby boomers and younger people become more aware of the chemicals that are in or on their food, they are increasingly desiring food which is naturally grown without herbicides and pesticides. People are also expressing a heightened interest in growing their own food and in food preservation.
- Desire to reconnect to nature: Families are seeking fun activities which allow them to enjoy fresh air and nature.

## 1.2 Mission

Minnesota Fresh Farm serves the local community by offering naturally grown food and family activities. It builds local business by reminding consumers to purchase local products. It promotes healthy living by educating customers in food nutrition, preparation and preservation, and gardening. The mission is summed up in its tag line: Buy local. Eat fresh. Live well.

Minnesota Fresh Farm will follow a differentiation strategy that will provide unique choices to food shoppers and people seeking fun and educational experiences. This will provide the company with the ability to charge slightly more for its food and activities than most competitors and return a profit. In return, consumers will enjoy a first-class experience and the freshest food available.

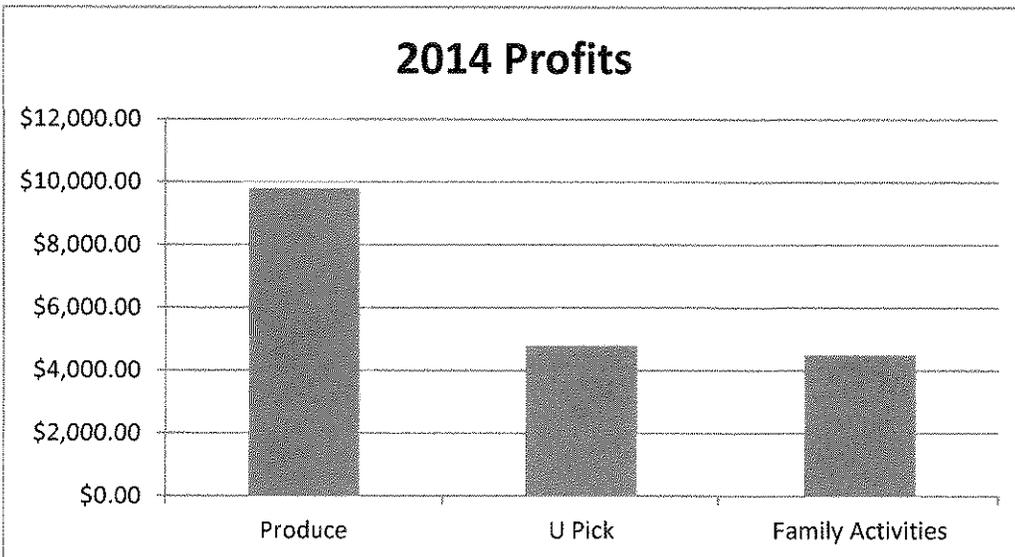
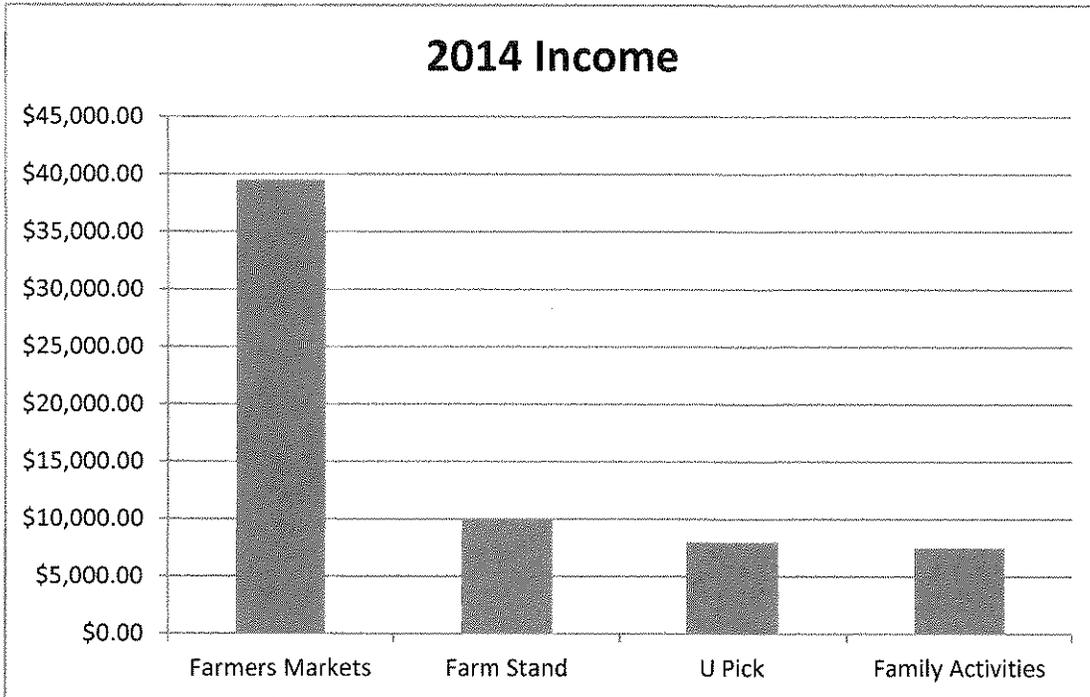
## 1.3 Objectives

Minnesota Fresh Farm seeks to achieve the following goals:

- Cash flow self-sufficiency by the end of 2014.
- Provide an income for Bruce and Sharon Johnson, as well as Luke and Liz Johnson, with income growth possibilities.
- Combined sales of \$65k in 2014 with net profits of \$19k.

# Minnesota Fresh Farm Business Plan

## 1.4 2014 Income and Profit Projections



# Minnesota Fresh Farm Business Plan

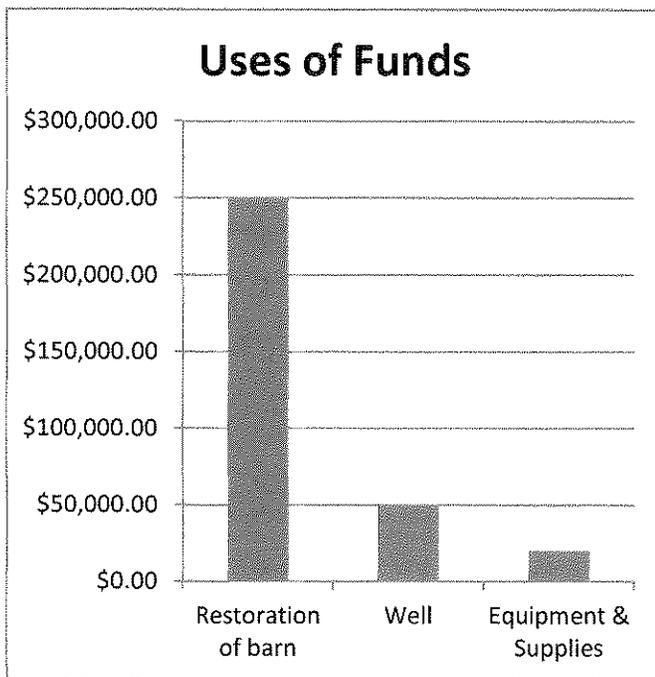
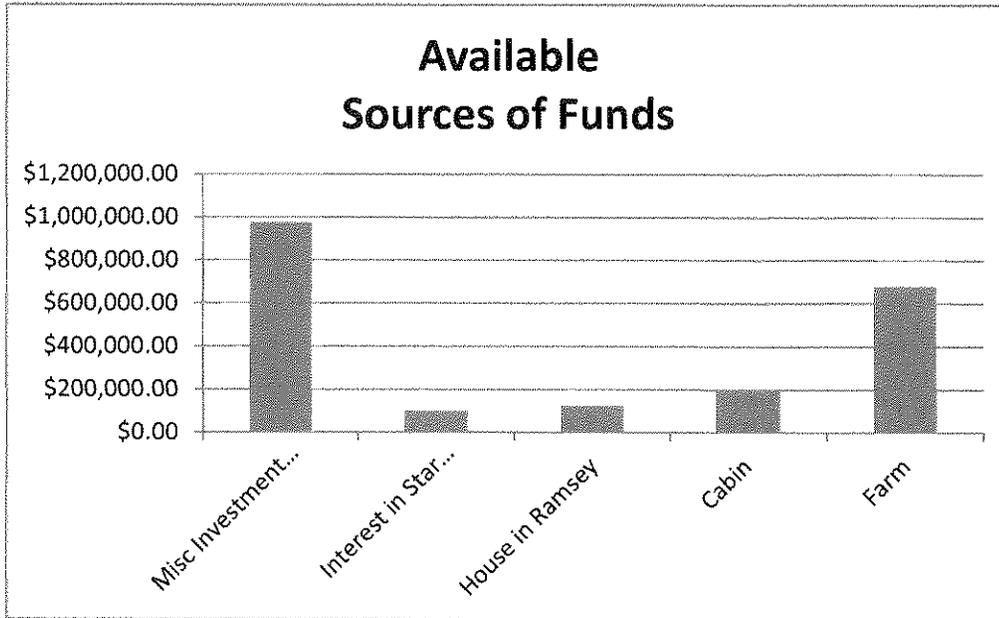
## Company Summary

### 2.1 Finances

Costs for improvements of the premises and sources of funds are shown on the following charts. Bruce and Sharon Johnson will invest \$320,000 of personal funds for improving the premises and installation of a well. Personal funds will come from miscellaneous investment accounts. The Johnsons own a home in Ramsey, Minnesota that has a small mortgage and a cabin in Garrison, Minnesota that is owned free and clear. If necessary, the two latter properties can be used for loan security if financing is sought instead of tapping investments. Sharon also has a one third interest in a long-established and profitable machine shop. Her interest in the company can be sold if needed. A budget of \$250,000 has been established for renovation of the barn, \$50,000 for well installation and \$20,000 for capital equipment and supplies.

# Minnesota Fresh Farm Business Plan

## 2.2 Sources and Uses of Funds



# Minnesota Fresh Farm Business Plan

## 2.3 Company Location and Facilities

Minnesota Fresh Farm is located in East Bethel, Minnesota on Highway 65. The entire farm comprises 72 acres. Currently, 15 acres are in produce production and 25 acres are rented to a sod farmer. In 2014, approximately ten more acres will be placed into production. U Pick berries, family activities, such as a corn maze and a pumpkin patch, and wedding site rental will be added. These latter activities do not require additional buildings. However, long term plans call for a permanent retail space and an area for gardening, cooking and food preservation classes. The existing barn, with extensive renovations, is the planned area for these activities.

A well will be installed in 2014 to provide for irrigation and for eventual water needs of the retail space and classroom area. Approximately two miles of irrigation pipe were purchased in 2013. This will be put in place as soon as the well is operating. Portable restrooms will be available for the U Pick and family activities for 2014. In 2014, a temporary building will be used for the farmstand.

The premises had not been well kept for many years prior to Bruce and Sharon acquiring the property in 2012. Tons of debris have already been removed and there are tons more to go. When the property is cleaned up, it will be an attractive addition to the City of East Bethel. Cleaning up the property is necessary for the safety and enjoyment of the public who will be on the property to purchase produce and to participate in U Pick and harvest-time activities.

## 2.4 Company Ownership

Minnesota Fresh LLC dba Minnesota Fresh Farm is a limited liability company owned by Bruce and Sharon Johnson. Minnesota Fresh Farm is registered as a fictitious business name.

# Minnesota Fresh Farm Business Plan

## Operations

Minnesota Fresh Farm offers a wide selection of fruits and vegetables. Most varieties are heirloom, non-hybrid. Nothing that can be identified as GMO is planted. The biggest crops are corn, tomatoes, cucumbers, and potatoes. Carrots are extremely popular. Pumpkins and squash are excellent money-makers in the fall. Many other types of greens, fruits, root vegetables and miscellaneous produce are grown in order to provide clients an interesting mix of common and unusual vegetables. In 2013, Minnesota Fresh Farm sold nearly all its produce through farmers markets. In 2014, the farm will continue to participate in farmers markets, but will also add a farmstand on weekends (Friday through Sunday.)

In 2013, Minnesota Fresh Farm saw good success in selling food kits. A weekly produce selection was offered to select customers. It included \$25 worth of food for \$20, and customers picked up their produce weekly, on Mondays. A "Salsa kit" was also offered for \$20 that included the tomatoes, peppers, and onions needed for a printed Picante Sauce recipe. This was packaged in a peck basket. The kit was extremely popular with many customers purchasing multiple kits. In 2014, Minnesota Fresh Farm plans on expanding the weekly produce selection, including providing a reusable wooden box in which the consumer can transport their \$20 purchase of food each week. Also, additional kits similar to the Salsa Kit are being developed.

Minnesota Fresh Farm will offer family activities such as U Pick Berries and Pumpkins, a small corn maze and other harvest activities, and wedding site rental in 2014. A small selection of hostas and miscellaneous landscaping plants will be sold.

Minnesota Fresh Farm's first full year of operation, 2013, was devoted to learning how to grow produce on the land that is owned by the company. The year 2014 will be a transition year as activities will be added. No major improvements to buildings will be needed in 2014 to accommodate the activities. However, those improvements to the existing barn will be started, and hopefully completed, in 2014 in order to provide facilities for expanded operations in 2015 and beyond. Some of the consumer activities in the long range plans include a retail shop featuring Minnesota-sourced food products and other merchandise, along with gardening, cooking, and food preservation classes.

### 3.1 Product and Service Description

The following crops are grown:

#### Perennials

##### Fruits

##### Strawberries

1. Jewel (June bearing)
2. Earliglow (June bearing)
3. Albion (Day neutral)

##### Raspberries

1. Heritage (Fall bearing)
2. Anne (Golden fall bearing)
3. Nova (Summer bearing)
4. Royalty (Purple summer bearing)

##### Blueberries

1. Chippewa
2. Polaris

##### Apples

1. Zestar
2. Red Duchess

# Minnesota Fresh Farm Business Plan

3. Fireside
4. Honey Crisp
5. Wealthy
6. Haralson

## **Grapes**

1. Worden
- Rhubarb (Unknown variety)**

## **Non-fruit Perennials**

### **Hops**

1. Willamette
2. Cascade
3. Centennial
4. Magnum
5. Nugget

## **Annual Crops**

Beets - Detroit Red, Golden, Chioggia

Brussel Sprouts

Carrots - Scarlet Nantes, Miscellaneous rainbow varieties

Corn - Ambrosia, Indian Decorative, Popcorn

Cucumbers - Pickling, Straight 8, Market More, English Burpless

Eggplant - American Beauty, Oriental

Garlic

Gourds - Various mixtures, Crown of Thorns

Herbs - Basil, Dill, Cilantro

Kale - Curly Blue, Red Russian, Dinosaur

Kolhrabi

Melons - Minnesota Midget Muskmelon, Black Diamond, Sugar Baby, Seedless

Onions - White, red, yellow, scallions, leeks

Peppers - Habenero, Green, California Yellow, Cute Stuff, Jalapeno, Poblano, Thai, Ghost, Banana, Hungarian Hot Wax

Potatoes - Pontiac Red, Norland, Purple Majesty, Yukon Gold, French Fingerling

Pumpkins - Jack-o-lantern, Galleux de Elyse, Jarrahdale, Jack-be-little, Wee-be-little, New Moon

Radishes - Cherry Belle, French Breakfast, Daikon

Squash - Delecata, Hubbard, Acorn, Butternut, Buttercup, Turk's Turban, Spaghetti, Gourmet Globe, Green Zucchini, Grey Zucchini

Tomatoes - Early Girl, Juliette, Super Sweet 100, Roma, Celebrity, Valley Girl

\* This list is not exhaustive. Rather, it notes the most popular varieties sold or requested in 2013

## **Family Activities**

Minnesota Fresh Farm will offer simple family activities in 2014. This will include a children's corn maze and pumpkin patch. These activities will be open Friday through Sunday in September and October. Research into complimentary activities will be done over the winter of 2014 in order to make a trip to the farm in the fall a fun experience for youngsters and their parents.

# Minnesota Fresh Farm Business Plan

Long term plans for the farm included offering rental of a wedding site that was created for Luke and Liz Johnson's wedding in August 2013. The site is in a clearing in the woods on the North side of the property. It easily accomodates seating for 250 people and parking space for 100 cars can be permanently cleared. Minnesota Fresh Farm needs to work on an area that can be used for receptions, and further on in time, a place where the bride and her party could even stay on the property. An unsolicited inquiry has already been received from someone looking for a wedding site only in August or September of 2014. No reception area is needed. Minnesota Fresh Farm would like to include this possibility in its 2014 plan.

## 3.2 Competitive Comparison

The competition facing Minnesota Fresh Farm comes from the following areas: grocery stores, other vendors at farmers markets, other destination farms.

The vast majority of fresh produce is sold in grocery stores. These include stores such as Cub Foods, Aldi, Walmart, Target, Rainbow, and Coborns. Consumers seek fresh produce and low prices from these stores without a lot of focus on the origin of the produce. That is, consumers readily buy produce that is grown in other states or other countries and under unknown conditions using many types of herbicides and insecticides. Whole Foods is one grocery store that focuses on organic and locally grown produce. They are able to obtain a premium price for their produce.

Other vendors at farmers markets are Minnesota Fresh Farm's most direct competitors. Depending on the market, there will be one to ten other produce vendors. Someone from Minnesota Fresh Farm will usually make a quick survey of other vendors at the market to make sure that prices are in line with other vendors - not too high and not too low. Also, the farm offers packages, like the Salsa Kit or weekly produce box, that is not available from other vendors. With the Salsa Kit, Minnesota Fresh Farm was able to charge a premium price because of its uniqueness and attractive packaging. The weekly produce box will develop customer loalty and will make our stand the first stop when a shopper comes to the market.

As activities are introduced, Minnesota Fresh Farm will also compete with other destination farms. Some of these include: Anoka County Farms, Berry Hill Farm, Eveland Family Farm, Exotic Pumpkins, Packer Family Farms, and Waldoch Farm all in Anoka County. Minnesota Fresh Farm's greatest advantage in this area is that it is highly visible from Highway 65. Research will be completed over the winter of 2014 to determine pricing, hours, and exact services to be offered.

## 3.3 Future Products and Services

Minnesota Fresh Farm plans to add a retail store, using the current barn as its location. The retail store will offer produce from this farm as well as products from Minnesota, such as honey, wild rice, Minnesota packaged foods, and possibly even produce from local farmers who are seeking an outlet. The store will also offer arts and craft items from Minnesota artisans.

Gardening, food preservation and cooking classes are also planned. These will be conducted in the existing barn/shed structure after extensive improvements have been made to the building. A food preparation area that is up to NSF standards will be installed. Much preparation, both in terms of the building and in licensing and training will be required for this service. The earliest this will be ready is 2015.

## 3.4 Hours of Operations

The farmstand will be open as follows from June through October:

Friday 11 am - 7 pm

Saturday 9 am - 5 pm

Sunday 9 am - 5 pm

Family activities will follow the same daily schedule. It is expected that family activities will be offered in September and October.

# Minnesota Fresh Farm Business Plan

## **3.5 Parking**

It will be necessary to have parking for 100 cars on the property. The lot will not be paved. This lot would be used only during the short U Pick season (July) and on weekends for family activities. The parking lot will be accessed from the second entrance north of Highway 65 on Klondike Drive.

## **3.6 Signage**

Minnesota Fresh Farm will erect a sign informing passersby of the farm's location. Details of the size of the sign have not been determined. However, the sign will need to be of sufficient size to be read by drivers and passengers of cars that are traveling on Highway 65. The farm will also place 8 foot temporary, professionally produced banners that indicate "Open," "Fresh Produce," "Pumpkins for Sale." Additional banners may be added.



**NOTICE OF PUBLIC HEARING  
CITY OF EAST BETHEL PLANNING COMMISSION  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**CITY CODE, APPENDIX A – SECTION 14  
RELATED TO ACCESSORY STRUCTURES  
ZONING TEXT AMENDMENT**

NOTICE IS HEREBY GIVEN that the City of East Bethel Planning Commission will hold a public hearing on Tuesday, November 26, 2013 at 7:00 P.M., at the City Hall, 2241 221<sup>st</sup> Avenue NE, East Bethel, MN. The hearing will be to consider several changes to the City Code, Appendix A, Section 14 – Accessory Structures.

A copy of the proposed amendment is available at City Hall during regular hours between 8:00 A.M. to 4:00 P.M. for the public's review.

The public is invited to provide comment at the hearing. The City Council may consider adoption of the proposed amendments at their regularly scheduled meeting on December 4, 2013.

Published in the Anoka Union  
November 15, 2013.

Subscribed and sworn to me  
this 8<sup>th</sup> day of November 2013.

Colleen Winter  
Community Development Director

Carrie Frost  
Notary Public

## SECTION 14. DETACHED ACCESSORY STRUCTURES

These standards have been established to preserve the character of the principal structure, promote building compatibility, and provide for minimal adverse impacts to surrounding property through the implementation of height, size, location, and architectural regulations.

### 1. Permit regulations.

All accessory buildings and/or structures over 120 square feet in size require a building permit prior to construction, unless specifically exempt under this ordinance. Accessory structures less than 120 square feet shall not require a building permit unless otherwise required by any other ordinance or state requirement. Accessory structures less than 120 square feet shall comply with all provisions of this section and zoning district regulations.

### 2. General regulations.

- A. No accessory building or structure shall be constructed on any lot prior to construction of the principal structure without prior approval of the City Council ~~without prior approval by the city council.~~
- B. Accessory structures located on lots that are subsequently subdivided shall be modified accordingly to maintain compliance with zoning districts and/or acreage requirements.
- C. Every exterior walls, foundation, and roof of accessory structure(s) shall be reasonably watertight, weather tight, and rodent proof, and shall be kept in a good state of maintenance and repair. Exterior walls shall be maintained free from extensive dilapidation due to cracks, tears, or breaks of deteriorated plaster, stucco, brick, wood, or other material.
- D. All exterior wood surfaces, other than decay resistant woods, shall be protected from the elements and from decay by painting or other protective covering or treatment. A protective surface of an accessory structure(s) shall be deemed to be out of compliance ~~of repair~~ if more than 25 percent of the exterior surface area is unpainted or paint is blistered or flaking; ~~it must be painted.~~ If 25 percent or more of the exterior surface of the pointing of any brick, block, or stone wall is loose or has fallen out, the surface shall be repaired.
- E. Pole-type, steel frame, or any other accessory structure(s) that contain exterior siding or roof of sheet metal must be on lots with more than three acres ~~located behind the principal building.~~
- F. No accessory building or detached private garage shall be located nearer the front lot line than the principal building except when the lot is three acres or greater and the existing principal building is located a minimum of 200 feet from the front lot line. Then the accessory building or detached private garage may be located closer to the front lot line than the principal dwelling, but not closer than 50 percent of the principal dwelling's setback. In the case of a corner lot, the front lot line shall be located on the side on which the principal building is addressed. The remaining lot side with street frontage shall meet the minimum front yard setback.
- FG. Accessory structures shall have a minimum separation of eight feet from all other structure(s).

~~GH.~~ The area of a lean-to shall be included in the allowable square footage of detached accessory structures and will be subject to the square footage restrictions for a lot.

~~HI.~~ Accessory structures on lakeshore lots may be placed between the principal building and the lakeshore or the right-of-way, and are subject to all setbacks and lot coverage.

~~IJ.~~ ~~Fish houses shall be included in the calculation of the gross maximum square footage for detached accessory structures. No more than one fish house shall be permitted on a lot. Fish houses must meet all required accessory structure setbacks.~~

~~JKJ.~~ ~~The structure must not be designed or used for human habitation and must not contain sewage treatment facilities. No cellar, garage, tent, or accessory building shall be at any time be used as an residentially occupied space, independent residence or dwelling unit, either temporarily or permanently.~~

~~KLK.~~ ~~Accessory structures shall have exterior doors only at ground level. For purposes of accessing storage, A~~ accessory structures may ~~not~~ have exterior stairs to a second story ~~in a side or rear yard, and~~<sup>[MV1]</sup> ~~a six foot by six foot (6' x 6') landing at the top of the stairs.~~

### 3. Architectural and design requirements.

Pole-type, steel frame buildings or any other accessory structure that contains exterior siding or roof of sheet metal shall be constructed utilizing the following architectural and design requirements:

- A. Shall incorporate a finished design and color scheme that is coordinated and compatible with the color and design of the principal structure;
- B. Shall include complete eave and corner trim elements;
- C. Shall include a minimum of two different architectural features on the front facade; architectural features may include items such as window treatments, door treatments, or material/color variations; and
- D. Shall include a minimum combination of two architectural and/or landscape features along any sidewall greater than ten feet in height and any sidewall directly adjacent to and visible from a public right-of-way; landscape features shall include medium or upright coniferous and deciduous shrubs or shade, ornamental, or evergreen trees in excess of four feet in height.

Wood frame and concrete block style buildings and any building that is not of a pole or exterior steel wall and/or roof style construction shall have the following location and architectural qualities:

- A. Shall incorporate a finished design and color scheme that is coordinated and compatible with the color and design of the principal structure;
- B. Shall include a minimum of two different architectural features on the front facade; architectural features may include items such as window treatments, door treatments, and material/color variations;
- C. Shall include a minimum combination of two architectural and/or landscape features along any sidewall greater than ten feet in height and any sidewall directly adjacent to and visible from a public right-of-way; landscape features shall include medium or

upright coniferous and deciduous shrubs or shade, ornamental or evergreen trees in excess of four feet in height.

**4. Size and number of accessory structures.**

A. Size of accessory structure:

- 1) All accessory structures greater than 120 square feet ~~in the RR and A~~ districts must comply with the following regulations:

Parcel Size	Maximum Square Feet	Maximum Sidewall Height RR & A Districts	<u>Maximum Sidewall Height R-1 &amp; R-2 Districts</u>
1.0 acre or less	580 square feet	10 feet*	<u>10 feet*</u>
1.01 to 2.0 acres	960 square feet	12 feet*	<u>10 feet*</u>
2.01 to 3.0 acres	1,200 square feet	12 feet*	<u>10 feet*</u>
3.01 to 4.99 acres	1,800 square feet	14 feet*	<u>10 feet*</u>
5.0 or more acres	2,400 sq. ft., plus an additional 240 sq. ft., or increment thereof, for each additional acre	14 feet*	<u>10 feet*</u>

\*Maximum height is measured from the floor surface to the underside of the ceiling member.

- a) ~~Accessory structures greater than 120 square feet in the R-1 and R-2 districts shall be limited to a ten-foot sidewall height. Roof pitch and style shall match the principal structure. Roof pitch shall be the minimum required by the Uniform International Building Code and shall not be the focal point of the property<sup>[MV2]</sup>.~~
- b) Accessory structures shall be of similar design and building materials as the principal building.
- ~~b~~c) Accessory structures less than 120 square feet in all districts shall be limited to a sidewall height no greater than eight feet.

B. Number of accessory structures:

- 1) On parcels 2.5 acres or less, one accessory structure is allowed with one additional single-story storage shed 120 square feet or less.
- 2) On parcels 2.5 acres to five acres, two accessory structures are allowed with one additional single-story storage shed 120 square feet or less.
- 3) On parcels greater than five acres, four accessory structures are allowed with one additional single-story shed 120 square feet or less.

C. Fire escapes, landing places, open terraces, outside stairways, cornices, canopies, eaves, window protrusions, and other similar architectural features that extend no more than two (2) feet into the required front, side, and rear yard setback are exempt from the detached accessory structure square footage calculation.

**5. Exemptions.**

Properties within the A zoning district are exempt from architectural and design requirements provided the building is used exclusively for agricultural use and is constructed in accordance with all other zoning ordinance regulations.

Structures of a mobile and temporary or recreational nature provided that:

- A. They are not used for storage purposes;
- B. Do not adversely affect surrounding properties;
- C. Are removed or placed more appropriately on the property at the request of the city.

(Ord. No. 19, Second Series, 5-5-2010)

## EAST BETHEL PLANNING COMMISSION MEETING

August 27, 2013

The East Bethel Planning Commission met on August 27, 2013 at 7:00 P.M for their regular meeting at City Hall.

MEMBERS PRESENT: Tanner Balfany Eldon Holmes Lorraine Bonin Randy Plaisance  
Brian Mundle, Jr. Glenn Terry Lou Cornicelli

MEMBERS ABSENT:

ALSO PRESENT: Colleen Winter, Community Development Director  
Tom Ronning, City Council Member

### Call to Order & Adopt Agenda

**Mundle motioned to adopt the August 27, 2013 agenda. Terry seconded; all in favor, motion carries unanimously.**

### Public Hearing, Interim Use Permit request – Stacie Arneson, 929 197th Ave. NE, East Bethel, MN, PIN 193323440017, R1 – Single Family Residential District

#### Background Information:

#### Property Owner/Applicant: Property Location:

Stacie Arneson 929 197th Ave. NE  
929 197th Ave. NE PIN 19-33-23-44-0017  
East Bethel, MN 55011  
Lot 13, Block 1, Kable Country Estates

The applicant, Stacie Arneson, is requesting an IUP to operate a home-based hair salon business.

Stacie Arneson is a licensed cosmetologist and would be working by appointment only. Business is conducted by appointment only so parking needs generated from the home occupation are small and shall be provided on-site, in the designated driveway.

**Public hearing was opened at 7:05 p.m.**

**Public hearing was closed at 7:06 p.m.**

#### Recommendations:

Staff requests Planning Commission recommend approval to City Council for an IUP for a home occupation for a hair salon, located at 929 197th Avenue NE, Kable Country Estates, Lot 13 Blk 1, PIN 19-33-23-44-0017, with the following conditions:

1. Home Occupation shall meet the specific home occupation standards set forth in the City Code Appendix A Section 10-18:
  - a. No more than three (3) persons, at least one (1) of whom shall reside within the principal dwelling, shall be employed by the Home Occupation.
  - b. No traffic shall be generated by any home occupation in a significantly greater volume than would normally be expected from a single-family residence.

- c. Any sign associated with the home occupation shall be in compliance with the East Bethel City Code, Chapter 54. Signs. Home occupation signage must be no larger than two (2) square feet (City Code Chapter 54-4.3).
  - d. The home occupation shall not generate hazardous waste unless a plan for off-site disposal of the waste is approved.
  - e. A home occupation at a dwelling with an on-site sewage treatment system shall only generate normal domestic household waste unless a plan for off-site disposal of the waste is approved.
  - f. The home occupation shall not constitute, create, or increase a nuisance to the criteria and standards established in this ordinance.
  - g. There shall be no outdoor display or storage of goods, equipment, or materials for the home occupation.
  - h. Parking needs generated by the home occupation shall be provided on-site.
  - i. The area set aside for the home occupation in the principal structure shall not exceed 50 percent of the gross living area of the principal structure and the area set aside for the home occupation in the attached or detached accessory structures or garages shall not exceed total accessory structure space.
  - j. No structural alterations or enlargements shall be made for the sole purpose of conducting the home occupation.
  - k. There shall be no detriments to the residential character of the neighborhood due to the emission of noise, odor, smoke, dust, gas, heat, glare, vibration, electrical interference, traffic congestion, or any other nuisance resulting from the home occupation.
2. Violation of conditions and City Codes shall result in the revocation of the IUP.
  3. All conditions must be met no later than September 30, 2013. An IUP Agreement shall be signed and executed no later than September 30, 2013. Failure to execute the IUP Agreement will result in the null and void of the IUP.

Stacy Arneson 929 197<sup>th</sup> Avenue East Bethel.

Holmes asked how long she has lived there. She said ten years. Holmes asked if she has been doing hair at her home. She said no, she currently rents a chair in Oak Grove and prior to that in Andover. Her clients would follow her to her home from Oak Grove salon she is currently at.

Holmes asked if there area where the salon is going to be, if it was going to have to be constructed. She said they have been working on it, as long as it is approved.

**Holmes motioned to recommend approval to City Council for an IUP for a home occupation for a hair salon, located at 929 197th Avenue NE, Kable Country Estates, Lot 13 Blk 1, PIN 19-33-23-44-0017, with the following conditions:**

- 1. Home Occupation shall meet the specific home occupation standards set forth in the City Code Appendix A Section 10-18:**
  - a. No more than three (3) persons, at least one (1) of whom shall reside**

- within the principal dwelling, shall be employed by the Home Occupation.**
- b. No traffic shall be generated by any home occupation in a significantly greater volume than would normally be expected from a single-family residence.**
- c. Any sign associated with the home occupation shall be in compliance with the East Bethel City Code, Chapter 54. Signs. Home occupation signage must be no larger than two (2) square feet (City Code Chapter 54-4.3).**
- d. The home occupation shall not generate hazardous waste unless a plan for off-site disposal of the waste is approved.**
- e. A home occupation at a dwelling with an on-site sewage treatment system shall only generate normal domestic household waste unless a plan for off-site disposal of the waste is approved.**
- f. The home occupation shall not constitute, create, or increase a nuisance to the criteria and standards established in this ordinance.**
- g. There shall be no outdoor display or storage of goods, equipment, or materials for the home occupation.**
- h. Parking needs generated by the home occupation shall be provided on-site.**
- i. The area set aside for the home occupation in the principal structure shall not exceed 50 percent of the gross living area of the principal structure and the area set aside for the home occupation in the attached or detached accessory structures or garages shall not exceed total accessory structure space.**
- j. No structural alterations or enlargements shall be made for the sole purpose of conducting the home occupation.**
- k. There shall be no detriments to the residential character of the neighborhood due to the emission of noise, odor, smoke, dust, gas, heat, glare, vibration, electrical interference, traffic congestion, or any other nuisance resulting from the home occupation.**
- 2. Violation of conditions and City Codes shall result in the revocation of the IUP.**
- 3. All conditions must be met no later than September 30, 2013. An IUP Agreement shall be signed and executed no later than September 30, 2013. Failure to execute the IUP Agreement will result in the null and void of the IUP.**

**Mundle seconded; all in favor, motion carries.**

This will go before City Council on September 4, 2013.

**Interim Use Permit request – Scott and Kari Brazinsky, 1623 229th Lane NE, PIN 323423440008, R1-Single Family Residential District – DISCUSSION ONLY**

Mundle asked if this was more for the residents benefit or our benefit to have a discussion. If it is for the resident, he would motion to table this. Cornicelli asked if they stated they wouldn't be at the meeting. Winter said they may have thought this was a public hearing and we cancelled the public hearing, so they may have thought we weren't going to be discussing it. She said let me go through it and it may clear things up.

**Background Information:**

**Property Owners/Applicants: Property Location:**

Scott and Kari Brazinsky 1623 229th Lane NE

1623 229th Lane NE PIN 32 34 23 44 0008  
East Bethel, MN 55005  
Lot 8, Block 1, Cedar Creek Meadows

The applicants, Mr. and Mrs. Brazinsky, are requesting an IUP for the keeping of two (2) horses at their residence. East Bethel City Code Section 10, Article V. Farm Animals, requires that no animals that are regulated by the code can be kept on a parcel of land located within a platted subdivision unless 80 percent of the lots within that subdivision are larger than 3 acres. The parcel (owned by Mr. and Mrs. Brazinsky) totals 13 acres, but only 51% of the lots in Cedar Creek Meadows are greater than 3 acres. I explained this to the Brazinsky's, but they would still like an interpretation from the Planning Commission. Brazinsky's lot and all of the other lots on the same side of the street are well over 3 acres – ranging from 6 – 13 acres in size.

However the platted lots across the street are smaller than 3 acres and range in size from 1.9 to 3.26. None of the smaller lots have any houses, or have been sold for residential lots. The Brazinsky's also reside in an area that is part of the Significant Environment Overlay District and if farm animals were approved they would need to submit a plan to Anoka County SWCD for final approval.

I have enclosed several pictures. This was originally scheduled as a Public Hearing and was pulled as a Public Hearing and is just before you as a DISCUSSION ITEM ONLY.

**Attachments:**

1. Location Map
2. Application
3. Site Plan
4. Pictures of property

Winter said she assumed all the lots were over 3 acres. She did make a mistake and thankfully she had a great support person who clarified it for her. She said the change made it go to 51%. On their side it is from 1.69 - 3.18 and the other side goes from 6-13 acres. So then it doesn't meet our subdivision requirements. They still wanted the interpretation of the Planning Commission. Their contention is the smaller lots are not developed. They are advertised as residential lots and have not been sold.

Mundle said they have been developed and plotted but not sold. Winter said yes.

Winter wanted to show the pictures of their yard. This is the front of their yard and what is developed. She showed their front yard. Cornicelli asked if it was pasture. Winter said no, it is grass and trees. Woods and wetlands can be qualified as pasture. This picture shows you where it drops off and goes down to the lake. Cornicelli asked how much of the property is wetland. Winter said a significant amount. Cornicelli asked how much is upland. Winter said about four acres. So they have room and meet the requirements. They could do one.

There are two questions, this is black and white and this is how our ordinance

reads. If you want to allow you would have make a change to the ordinance. Cornicelli said they pitching that their children will grow up better with horses, but how do you pull an IUP after three years. Winter said this is where the ordinance is very grey. If they were a meets and bounds lot, they would have met the qualifications. If they were not part of a platted subdivision, they could have done it. We do have rural residential and meets and bounds. What is interesting, just to the west of them, is someone who has an IUP for many years. She does feel and respect where they are coming from. In her mind it didn't fit, and she had told them she would bring it before the commission. Balfany said it is black and white and doesn't fit. He wishes he could say otherwise, but it is pretty clear. Terry said what the rule about the subdivision is. Winter said it is to protect the integrity of the neighborhood. She said she wishes it was a little clearer. In some cities, they have it if you have 5 acres whether you are in a development or not you can have a horse. It is a bit simpler. Mundle said it is determined by acreage. Winter said yes, and it is much cleaner. Balfany asked if that is something we should look at changing. Winter said you might want to. Cornicelli asked how many subdivisions have a large discrepancy in size. Winter said most are from 2-5 acres.

Mundle said there are about 4 acres of highland; essentially those four acres equal the three or four acres of another piece of land. There is only three to four acres of usable area. That is why this development was designed this way. Other developments it is how the lay of land allows development. How the streets fit in. The closer you get to the metro, the smaller the lots get.

Plaisance said we are talking about this particular ordinance which is talking about an area that is using these lots as the information to apply this particular piece is arbitrary, rather than looking at the impact of having animals on this property would have. He thinks they are separate pieces. Balfany asked if Plaisance was looking at directing staff to investigate other ways to view this as we talked about. Plaisance said yes, that is the way he would like to go.

Plaisance motioned to direct staff to look into an alternate description instead of looking at subdivision as a reference to the City Code to be more in line with the impact of the animals on the area in question. Terry seconded; all in favor, motion carries. (Holmes and Cornicelli opposed.) Balfany apologized he forgot to allow discussion. Holmes said you can buy 70 acres of land and only 4 acres are above water level. The problem with East Bethel is we have so much low land. Mundle asked if the land had to be inspected for pastureland. It has to be grazeable. Balfany said for more clarification, exactly what Winter talked about how many horses for five acres. Winter said you would still need to have grazeable acreage. She had someone who wanted to purchase ten acres and had a thick tree line. The rest of the subdivision, that you wouldn't know the 10 acres were part of it. It was clearly a parcel that could have horses but it was part of the subdivision. She thinks there is a way it can be made clearer.

Balfany said that is what you were trying to address with looking into things, correct Plaisance. Terry said we are trying to preserve a rural community. Do we think horses do that? He thinks so. Plaisance said he doesn't want to take away their responsibility to the neighborhood around them. He doesn't want to take

away the requirements they would have to make to have horses. He thinks the language doesn't meet what we want people to have in using their property.

Cornicelli said the bottom line is why they were platted this way in the first place. Are there fundamental issues with the ordinances or are we trying to shoehorn people. It is bigger picture. This isn't a good place to put horses.

Balfany said if there is a 10 acres strip, and that might look more rural, it would be great for horses. But this property wouldn't be good for horses. Cornicelli asked if when the developments are laid out, there are discussions like this with the developers.

Winter said there have been quite a few building permits issued, so we may have more discussions like this. She is saying it would be nice to have a simpler way to calculate it. If you have subdivisions that are all 5-10 acre lots and they had pasture land, it would probably be ok to have animals on it. The other thing you have to keep in mind is everything that gets developed in the City from now on is 1 per 10 acres, unless it is in the sewer and water district.

Cornicelli said he is perfectly fine with revisiting overall, but it is not ok to look at it for one person. Balfany said he doesn't think that we would have had the discussion if Winter hadn't provided the example she did. Cornicelli said he would change his vote. Balfany said he doesn't think that is necessary because the motion passed. But he is sure Jill will note that in the verbatim minutes. Which you can review next month. Cornicelli said he is going to start talking New York fast so she won't be able to get it.

**Comprehensive  
Plan/Zoning/Ordinan  
ce Changes  
A. Travel Trailer  
Regulations**

**Requested Action:**

Make a recommendation to City Council to adopt Travel Trailer Regulations per City Attorney

**Background Information:**

Ms. Krueger appeared before the City Council at a public forum on July 17, 2013 and the Council requested that the City Attorney look in to this. Below is an excerpt from the Council meeting and the Attorney's response.

Mundle asked if this was a full size trailer. Winter said no, it is a travel trailer.

Winter stated a summary of what occurred at the last City Council meeting. Nancy Krueger, "I live in Blaine, 515 98th Avenue. My address in East Bethel is 18467 Lakeview Point Drive NE. I don't reside there. It is a small camping lot. In 2003 I purchased 50 feet of lakeshore on Coon Lake. It had on a boat house and combination storage shed and outhouse. It was advertised in the Anoka Shopper as 'a camping lot.' I have been there for 10 years; put a camper on it, put in a nice new dock. I bought a pontoon. I use it for my family, and my kids live in Ham Lake so they are close by. This spring there was some local people that started parking pontoons illegally and the sheriff came and made them take them out. The inspector came and made sure they took them out. In doing so, he had to pass by my property. This was Nick Schmitz and I got a letter from him that

neither campers nor outhouses were allowed in East Bethel and I had to move my property. It is not actually on a City street. I worked with Jack Davis and Nate Ayshford to keep the road open. I went into the City Ordinances and it seems to me that the intention is more for people not to come in and park a mobile home or camper on a lot and reside in it. Which I understand. You wouldn't want your neighbors turning your neighborhood into a trailer park."

"But, my lot is not visible from the street. I only have one neighbor and there is a tree line between us and they have no objections to me being there. I read through the entire City Code and Ordinance and it doesn't reference outhouses, their legality or use. On the letter I got it doesn't reference any code. It just says I can't have an outhouse in East Bethel, so I would like more clarification on that. Because it was on the property when I bought it, I didn't know there was an issue. I thought it was grandfathered in. I take good care of it. I have fixed it up a lot, as it was in disrepair. I try to be responsible with the use of the outhouse. I use organic to break down the waste and neutralize it before it goes in the ground. I am a chemist at Aveda, so I kind of know about these things and I try to be a good citizen. Last fall my batteries and propane tanks got stolen off my camper, so I got electric brought in this spring. For me to just have to move everything off... We don't sleep there. I live in Blaine and my kids live in Ham Lake. We come for the day and go out in the boat. We don't reside there. We don't have water there.

Mark Veiling, City Attorney's response – At the last council meeting a lady appeared raising the issue of the city's enforcement of its ordinances to her circumstances and her placement of a travel trailer onto an unbuildable lot. As she appeared to the council to have an issue they were sympathetic to having a well maintained lot and cared for travel trailer. I have reviewed the ordinance and attach my thoughts as to a possible solution yet not opening the door to widespread use of the provision.

Recommend City adopt regulations per City Attorney, provided it is not a permanent resident, there is a means to dispose of waste, and it is classified Seasonal Recreational under property tax classification.

Winter reference section 134. The attorney is suggesting adding language. If you look at the script that is before you, look at the lighter gray area. Essentially what he is saying is travel trailers are exempt if they are in section 134B and comply with the paragraphs. If it is located on lot, owned by the property owner, meets setback requirements as measured to the travel trailer, has a lawful onsite disposal of waste and doesn't provide a nuisance can exist on the site.

The reason it is before you tonight. As staff we had an opportunity to review it and we wanted Planning Commission to review it. This lot is classified as seasonal recreational from a tax standpoint at the county level. That would be one of the addendums that she would want added. Otherwise what you could have happen is if someone tore down, like on Maple Street, that property is not classified as seasonal recreational by Anoka County. We certainly don't want to open this up so we have travel trailers on lots all over East Bethel.

Cornicelli asked if there was an outhouse on the parcel. Winter said yes, and she doesn't know a lot about that. Mundle asked if it was a Jimmy John type of outhouse. Balfany said it sounded like it already existed on the property. Winter said it is not a hole in the ground. It has a tank that can be pumped. Balfany said it is addressed in the documents, as long as it is conforming. Holmes said this struck home for him. He just wants to go through some of it. The State of MN has a grandfather clause that started in 1927. An outhouse is an item with no definite septic system. So that means, that Jimmy Johns, so if we are not supposed to have outhouses, we should take them out of our own parks. If she bought the house with the outhouse on it. What is actually an outhouse? Mundle asked if it would be grandfathered if the house changes possession. With the grandfather clause, yes it would be.

Holmes looked at the website for the codes and the codes that are on our website are muni codes and not our actual codes. Someone should review that, because it isn't our code. Balfany said we will be meeting next week and we can review that. Holmes said he couldn't find what the attorney has and it wasn't on the website. Winter said our code is on Municode and it should be there. Holmes said he read the whole thing and couldn't find what the attorney was referencing. That is something else that should be change. The Municode is just for cities without code and they just adopt it. Winter said the Municode is a company that we have all our codification done and it includes our zoning. Holmes said no that is where they have codes you can adopt if you don't have any. Plaisance said I thought they had our actual code on there. Winter said they do. Balfany said we can address that. Holmes said he couldn't find it. If other people can't find it, and I can't. Some cities have adopted the truth in housing section in the State. That would help on people buying properties in East Bethel. He thinks the City Council should look into it. Even the guy that in Coon Beach it would have helped. He went and looked at this property and he thinks it has a boat house on it. There is a structure close to the water. Cornicelli said it is a dock. Holmes said no, it is a boat house. Balfany said it is identified here "it had a boat house, combination storage shed and outhouse".

Holmes said it was there when they bought the property. It is a very small lot. The State of Minnesota says there are three types of lakes – recreational (Coon Lake). Winter said it might be general development. Holmes said anyways there are different setbacks for different types of lakes. The DNR makes those rules. Before the City Council makes a decision, they should determine what type of lake it is. Mundle said it is general development. Holmes said there are different prerequisites on that, which we need to abide by. The biggest thing to look at is the grandfather clause. Putting the travel trailer on, they have to abide by the setbacks and clearances. That trailer is not 100 feet from the lake shore. That is a minor item. He has been through this a couple times before. There are so many entities that have to look at this. On the travel trailer, most communities have this, a travel trailer is considered 400 feet or less. Bigger than that is considered a mobile home. And if they are over that, it is a considered a modular home. We should put those definitions in our ordinance.

Winter said our zoning ordinance is under an appendix in Municode. She was going to look up the definition of travel trailer, we should add it. She is assuming

it would fit. Holmes said with general development, you would have to look and see if a travel trailer is allowed. A recreational lake you can have a travel trailer. If that is the case, no matter what they can't have it. It is something you have to balance out by a whole lot of areas. Balfany said it is good that we put this back up through Council. Holmes wanted everyone to know all the problems there is with this. We need to know setbacks, what type of lake it is, grandfather clause, outhouse, etc. before a decision is made.

The recreational lake we have in the community is Menard Lake and the general development lake we have in the community is Coon Lake.

Balfany said Holmes is recommending prior to a recommendation going forward to Council that the general development rules be reviewed. Holmes said they have to be reviewed. That is something that the City Council will have to look into.

Ronning said his recollection is that it is an unbuildable lot. The Council seemed sympathetic.

Holmes said even on a non-buildable lot, it depends on the lake designation. Balfany said Winter would be looking at the lake designation. Terry asked on 3B number 2, asked why it would matter. Winter said they are exempt; a campground on Coon Lake would have that privilege. Terry asked why a new campground wouldn't have that privilege. Winter said due to the new rules, a campground wouldn't be allowed on the lake. Balfany said it would be a grandfather clause. Winter said the shoreline ordinance, basically would not allow something like that to go in.

Balfany asked if anyone had any other questions. Winter thanked Holmes for his information. Balfany said in summary we like the way it looks, but we need a travel trailer definition, outhouse definition, and what the general development lakes rules are. Balfany asked if they wanted the seasonal lot on a County level. Mundle said if it is not marked as a seasonal lot on the County level, would having this on here, would allow anyone to put a travel trailer on a lot. Winter said that would be her concern. Balfany said yes that would create rules so someone couldn't just tear down there house and put up a travel trailer. Mundle said that is what he wanted to clarify. Holmes said we should have more say so than the City or County. That is another reason the City Council should look into the Truth in Housing. It would fix a lot of issues ahead of time. It is basic stuff. Winter said in order to get a loan, don't they have to do it. Holmes said no, only 16 cities have it so far. This would provide an inspection prior to a house closing. Mundle said he wouldn't agree with that. The paperwork they get at closing tells them they can do that, but to require it, he would be opposed to that. They can either do it or not. Balfany said it is something we might want to take a look at in the future. Winter said anything in the shoreline district; they must pass inspection before selling a home. She would imagine a high percentage of people would ask for an inspection. Mundle said it is about 50/50. Winter said she will provide the City Council with the information.

Cornicelli asked how many lots are like this. Winter said this is the only one we

know of. Cornicelli asked are we changing code for one individual, or all. Balfany said it is for both. So it is taken care of for the future. Winter said it could be that we will have others of these. If they tear down an old house, and then pull in a travel trailer. Mundle said you are going to add a number four, on the County designation. Winter said you might want to put it all into a motion and direct staff.

**Balfany motioned to direct staff to send to City Council with Planning Commission's recommendation Section 34, 183 amended by the City Attorney with the additions of a clear travel trailer definition, the seasonal property designation of the Count, the definition for the outhouse and the general development rules. Seconded by Holmes; all in favor, motion carries.**

**B. Special Meeting of City Council, EDA, Planning Commission on Monday, September 23, 2013 at 7:00 PM**

Winter asked Ronning if the Council discussed it at the City Council meeting. Ronning said there was minimal discussion on it. His recollection was more like why. What are we doing? Winter said the reason we were going to have the meeting. Ronning interrupted Winter and said he was wondering what prompted it. Where did it surface from? Balfany asked if that was the opinion of the Council. Ronning said there was minimal discussion, just opinions. Balfany said then the Council had no desire to meet with the two groups, or was it why. Ronning said it was more like why. Winter said there were two main. Ronning interrupted Winter and said there should be a purpose and not necessarily an agenda, or some topics. Winter said it would be the Hwy 65 Corridor and MIDS. Balfany said we all know what they mean. Just to address why, for me, it would be an excellent idea. That is what we have discussed for the past few months, trying to get together with EDA and Council, so we are all on the same page when it comes to the Hwy 65 Corridor. We are talking about the MIDS, this group has spent an abundant amount of time on. So we can all be on the same page and so the other groups can understand where we are coming from, and likewise we can understand the direction of City Council and also hear from EDA and staff. To him the question isn't why, but why not. We shouldn't we be getting together and making sure we are acting as one body. So we can move forward in the same direction.

Winter said the Council has said before the Planning Commission and EDA are recommending bodies and the Council has the final say. So this would be a way for the Council to hear from the other groups and move forward in the same direction in regards to the Hwy 65 Corridor.

Balfany said the date works for the majority of us. Consensus was it worked for the Commission. Winter said she will forward it to the City Administrator to take it to the Council.

**Approve July 23, 2013 Planning Commission Meeting Minutes**

**Terry said they were well written minutes. Holmes motioned to approve the July 23, 2013 minutes. Mundle seconded, all in favor, motion carries unanimously.**

**Other Business/City Council Report**

Holmes said he got this about the minutes, and how they are being taken. The actual ruling from Rebecca Otto, the State Auditor, there is a synopsis on how the meeting should be written up. He has that all right here. Well one thing is they talk about not being, there are so many items here. He wishes he would have had something for everyone. In the matter of motions, how they are done, there has to be a roll call vote. That should be in the minutes. Whether it was defeated. The description of the motion. If the minutes need to be recorded word by word by word, they tell you forget that. They shouldn't be so particular. We want to go and revise our minutes. Where is this, the general idea it is fine. Balfany said one verb can change the meaning. Holmes said if it comes to a court situation, picky minutes, you might as well kiss your options goodbye. Holmes said we do a lot of the stuff right now, this also is a law and how the minutes should be taken for the City Council too. It describes parks and roads and everything. He provided it to Winter. The minutes need to be approved by the governing body and signed by the Committee Chair. Those minutes should be signed. Otherwise they aren't legal. It also states that audio and visual recordings are not meeting minutes and not a substitute for meeting minutes. There are some communities that do it that way. They should be signed and dated by designated member. There are some things that we should be doing and we aren't. He thinks that going word by word, is a bad deal. We should put down the minimum per se. We would be doing it legally and he thinks it is the way to go. Cornicelli said you are preaching to the choir. The Council doesn't agree with that. Our recommendation was to do it the right. Ronning said it is to be recorded and maintained for indefinite. Holmes said it shows about motions and readings. Ronning said he is not interested in having the beginning and the end. There is the reason you have a majority. The majority decided the way things are especially we want to keep verbatim minutes. The minutes are the official recording of the meeting. You have reaffirmed that. Holmes said since he has been in the City, he doesn't know any meeting that is according to the State. None of them are legal. Ronning said to have verbatim minutes, you have to have a court reporter and we don't. He said he probably shouldn't say this but, there is a reasonable facsimile as you can get as close as you can to verbatim minutes.

Holmes said the minutes do not have to record the discussion, but a summary thereof. Minutes should not be cluttered with unnecessary detail that will hamper finding information at a later date. So, he is just bringing it up. Let it fall where it may. Balfany said it goes in hand with other discussions by this Commission and forwarded recommendation to the City Council. This Commission wanted shorter summary minutes, since we are not exactly at verbatim. As it was described, the clutter, we don't need every minute detail. Holmes said other Planning Commission minutes we have looked over, like Terry or others will say change them to say, I said such and such. That is pretty technical. It states in here, you should probably say in here, you agreed to the position. Not verbatim word for word. Balfany said we are all in agreement on that. Holmes said he is just bringing it up and will give it to winter

Ronning said food for thought, the way the process runs, if you have a disagreement with the legislative litigation, there is a disagreement to what the words mean, then it gets down to intent. The only way you establish intent is by going to the background. What created it to begin with? After people are dead

you do that. You go to the minutes. We all have opinions.

Terry said he was looking at a campground for sale and was trying to find it on the internet. He was doing a Google search. He has been here since 1997, and he has been on the Planning Commission since then. He didn't know we had Minnesota's largest nudist colony here. Mundle said you are just finding that out now. Holmes said why do you think there are so many airplanes flying over our City? Terry said it is a forty acre property. Cornicelli said we need to review the zoning ordinances. Thank goodness for verbatim minutes, they will all know it now. Tanner will inspect it tomorrow.

Ronning said you have read in the paper about the budget and levy. It is 17.3%. We met yesterday looking at finite areas to trim the budget. They looked hard and at the point you get deeper into things, you're going to have to cut this and services as well. What it boils down to, what you want to keep for the City. We have a rough thing to work with. Balfany said we were at that point where we are going to start losing services. Ronning said that is what most of what was meaningful from the last meeting. He knew what he was getting into. It is what it is. You get dealt one hand of cards and you have to play it. This is the main thing right now. Nothing else comes to mind other than that. That is going to be a lot. There is a Town Hall meeting and this will be one of the topics for the meeting – the levy. It should be interesting.

#### **Adjournment**

**Holmes made a motion to adjourn the meeting at 8:20 p.m. Cornicelli seconded; all in favor, motion carries.**

Submitted by:

Jill Anderson  
Recording Secretary

## EAST BETHEL PLANNING SPECIAL PLANNING COMMISSION MEETING

September 23, 2013

The East Bethel Planning Commission met for a Special Planning Commission Meeting on September 23, 2013 at 6:30 P.M for their regular meeting at City Hall.

MEMBERS PRESENT: Lorraine Bonin Brian Mundle, Jr. Tanner Balfany Glenn Terry  
Lou Cornicelli Randy Plaisance

MEMBERS ABSENT: Eldon Holmes

ALSO PRESENT: Jack Davis, City Administrator  
Tom Ronning, City Council Member  
Heidi Moegerle, City Council Member

### Call to Order & Adopt Agenda

**Mundle motioned to adopt the September 23, 2013 agenda. Cornicelli seconded; all in favor, motion carries unanimously.**

### Public Hearing, Zoning Text Amendment, Zoning Code, Section 14 – Accessory Structure

At the regularly held Planning Commission on March 26, 2013 a discussion took place about Section 14 of the Zoning Code related to Accessory Structures. It was felt that Section 14 needed some additional clarification and better-defined language. Nothing more was done at that time. The Planning Commission further discussed that there are other sections of the Zoning Code that need to be modified, changed, etc. and that if changes are going to be made then it would be best to have one public hearing where all changes to the Zoning Code could be made at the same time.

At the regularly held City Council meeting on September 4, 2013 a private citizen appeared before the City Council and was upset because she wanted to construct an outside staircase and landing to their garage where her husband has built a second story and wants to have a wood shop. The Council requested that the Planning Commission meet and consider changing Section 14 of the ordinance.

If changes are going to be made to Section 14 then Staff recommends that changes be made to all sections and has outlined those sections in the attached document.

Staff has further included comments from Eldon Holmes who is not able to attend the meeting on Monday, Sept. 23, 2013, along with Staff comments and clarification in red.

### Public hearing opened at 6:32 p.m.

Doug Tierney, 4610 Viking Boulevard. Didn't know all three names of the lake classifications. There are three classifications, natural and environmental. There are three different types of lakes. There are meander and non-meander. Balfany said we appreciate all the information. Tonight's meeting is about zoning text and we appreciate your help. Tierney said I know you're used to people complaining

and he wanted to help out the Commission.

Sheryl Hallstrom, 2459 243 Avenue NE. She is the resident who spoke at the meeting. She wanted that there would be a wood construction. They canvassed their neighbors for their support. They have signatures. It will be a workshop and also has heavy equipment up there and also bring construction out there. Had the current building inspector actually went out up there to look, they would have understood what we were doing. We have one large room up there 19 x 30 wide. There is storage on either side. There is 300 square feet on each side that will be unheated. We have no way to get it up there, because there is no opening for an inside stair. So we would like your help and if we need to sign an affidavit that no one will live up there, we will. The camera croaked, but they do have pictures on their phone.

**Public hearing closed at 6:37 p.m.**

Balfany asked if everyone had a chance to look at the revised amendment. Staff's recommendation was to go ahead with the latest update. Eldon Holmes had comments and if you would like to read it, you can. There is also an email from a Jason Pauly. Most of his concerns were taken care of with the most recent change.

Cornicelli asked what the definition of directly in front of. Is it 25% or 50% or 100%? Should be adjacent to? Balfany said that would be an interesting way to consider it. Bonin said they couldn't be in front of each other. Mundle said what if we take out directly. Cornicelli said he was just asking. Terry said it could be closer to the front line, if you don't say directly in front. If the house is set back far enough. Maybe it should be a percentage in the language. Maybe someone would have a curving drive way and it would be in front.

Ronning said there are some grammar problems in here. Balfany said if we recommend this and it makes it to City Council, then make the changes there. Ronning said there is an area in 14 that is needless. Balfany said I don't mean to be rude and cut you off but you should make those changes at Council. Tom said on 2.C – every exterior wall, is made plural is not grammatically correct. Balfany asked if all of his changes are grammatical. He said no, 14.4, size and accessory structures. In the blue, in the table it is 10 feet. This is what has been gone by. He would recommend that, rather than make people wrong, correct us, so we are right. Mundle said the 10-foot isn't changing anything. We are taking section 14.4.A.1A. and we are changing R1 and R2. We are moving that language to into a table, so it is clear. That is not changing it is a different way of presenting. Bonin has a question on page 5 about the focal point of the property. Balfany said there is roof pitch is a minimum so it can hold snow. Bonin said what does the roof being the focal point of the property. Mundle asked if Davis had any clarification. Ronning said it was probably a steeple. Davis said it could probably be deleted and makes it clearer. Terry said could we strike that line.

Mundle asked if we could make a motion to deny. Balfany said we need a motion to approve on the floor and then amend the motion. Mundle wanted to know if

we needed to make a motion to discuss. Balfany said yes, we need a motion to change it.

Davis said offset to not directly block the main view of the house. If it is an angle or a curve. If it is a straight road, it will at some point block the view. If it is coming around the curve, then it is that view. That does allow a little latitude. Then it does allow the offset. Bonin asked what the problem is with blocking the view from the road. Davis said it is aesthetics. Bonin said if it is a nice yard. Balfany said if you are going to put a garage directly in front of the house, then you will attach it. Davis said garages are secondarily architectural. It looks better if the garage is not the main focal point of the property. Mundle asked if we had that settled. Mundle said while we are on 14A1A, the portion that is struck is roof pitch and style shall match, he would like that in. Cornicelli asked why the house is not probably a barn style. Mundle said then why was it allowed. It shouldn't have been approved. Davis said he thinks what this reference it prohibits gambrel type roofs. To eliminate second story storage in a garage. If something is done properly, he doesn't see that that you can have a different in roof styles, if materials are similar, and structures are matching. If the accessory structure matches the house. Terry said if that is our purpose we should make that clear in the ordinance. Bonin asked what the objection to the gambrel roof is. Davis said he isn't sure, he is assuming it had something to do with a second story. If the roof pitch has to match the house, then the sidewall heights will eliminate most second story on the garage. So it would eliminate the possibility of second floor storage. Terry said rather than say no roof, then why not say eliminate second story storage. Davis said he doesn't think we should eliminate second story storage, just the living situation. Cornicelli said if it is done tastefully it shouldn't be precluded. Terry said someone might need the height for their job. Davis said you could still have a gambrel roof for a job. Balfany said are you still in favor of it or not. Mundle said it is in other communities; the newer developments have a covenant. Do you want a more uniform looking City? Terry said no. Cornicelli asked what the lot size was. He was informed over an acre. Balfany said he is unbiased on that. Someone can make a motion. Terry said as long as public safety is covered, he would like to see it be as least restrictive as possible. Bonin said we can all kinds of rules and regulations along the highway, but she thinks we should people to do within reason what they want to do.

Mundle said we probably should talk about 2L. Bonin said when we are talking about second story, garage storage. What they want to do is not garage storage. Mundle said you could have stairs inside your structure. If you are going to have stairs, you're going to have stairs inside. Bonin asked why? Mundle said because of public safety. We have four seasons here. In the wintertime, is snowfall going to be cleared all the time. Cornicelli said my deck has stairs, and if I am going to go outside, I will clear the stairs. Balfany said we could restrict the livable quarters. Bonin said if you don't have plumbing up there, then people would live there. Cornicelli said within L we should probably reword it. It should say a landing up to 6x6 it required. Terry said what is different than having a stairway to a deck. Mundle asked what the original intent of just having a door was. Cornicelli said beats me. Mundle said originally read, "accessory structures shall have exterior doors only at ground level". Cornicelli said it pre-dates all of us. Terry said they weren't as wise back then. Balfany said it was for deterrent for

things. Cornicelli said the likely problem was people living out of the structure. Bonin said if they are operating a business out of the detached structure or out of a house. What is the difference? People can come in and get permission to run the business in the detach garage. What would be the difference? Balfany said it would depend on the business. Bonin asked in the general sense what the difference is.

Plaisance arrived at 7:00 p.m.

Terry asked if there was a reason that we have to conclude it tonight. Balfany said if we table this would it affect anything. Davis said this is an issue that was brought before City Council on September 4. This was to address the situation. The people in question are leaving in about a month. Then it will have to layover and wait until springtime for them to finish their project. There is a special City Council meeting on Wednesday to review.

Balfany said this is to review things in the code. That is why we are here tonight. Davis said it does help accommodate them, but will also help resolve more than one case.

Cornicelli wanted to know if we had all the changes. Balfany said he thinks he has them:

Offsetting structure

L – so it doesn't have to be a 6x6

Roof pitch and style leaving in – barn style roof

Davis said when the permit was issued it was in the transition time. This could have been an oversight. Cornicelli said ok.

Balfany said the changes he saw was:

F – The changes that Colleen had been made. The accessory structure would be offset not to block the main view of the house.

L – At minimum a 3x3

Matching the roof pitch

Terry said are you going to say that roof style and pitch shall match the principal structure. Your needs in the outbuilding may not match the needs in the principal structure. Balfany said in cases like that, they would ask for a variance, for that set structure if there was a specific need. Terry asked why you would want it to match the roof pitch. Mundle said it is to keep the styling a little bit more uniform throughout the City. So you don't have many different, essentially people building what they want, and it may not be good visually. Bonin said what is good visually is very subjective. So to talk about good visually is to not do anything productive. In most cases we want to let people do what they want. We don't have to have total conformity. Things can look boring with total conformity. Terry said if you want to add roof pitch and style should match he would vote against it. Cornicelli said he would defer to Mundle for construction. Mundle said you would see it more and more for development and covenants.

Terry said there was one more change, he had suggested striking, shall not be the focal point of the property.

**Cornicelli motioned to accept the changes as presented by staff to Section 14 of the Zoning Code related to Accessory Structures, with three modification:**

- **In section 14.2.F – Change the language from to directly to offset**
- **In section 14.2.L – Change the language to no smaller than 3x3 to a maximum of 6x6**
- **In section 14.4.A – Remove shall not be the focal point of the structure**

**Terry seconded; all in favor, motion carries unanimously.**

**Adjournment**

**Terry made a motion to adjourn the meeting at 7:15 p.m. Cornicelli seconded; all in favor, motion carries.**

Submitted by:

Jill Anderson  
Recording Secretary

DRAFT

**City of East Bethel**  
**Joint Meeting Planning Commission and**  
**Economic Development Authority Meeting**  
September 23, 2013

The East Bethel Economic Development Authority (EDA) met on September 23, 2013 for a joint meeting at City Hall at 7:25 p.m.

MEMBERS PRESENT: Brian Bezanson Dan Butler Heidi Moegerle Julie Lux  
John Landwehr Lou Cornicelli Randy Plaisance Tanner Balfany Glenn Terry  
Lorraine Bonin Brian Mundle, Jr. Mike Connor

MEMBERS EXCUSED: Eldon Holmes Richard Lawrence

ALSO PRESENT: Jack Davis, City Administrator

**Introduction  
and Meeting**

This is a joint meeting, so there hasn't been any formalization. There is just a moderator or facilitator from each group.

**Purpose –**

**Jack Davis,  
City**

Moegerle called the meeting to order and Planning Commission can adjourn it.

**Administrator**

**Presentation  
by Craig**

**Jochum, City  
Engineer –**

Over the past year, the City of East Bethel has been participating in the Minimum Impact Design Standards (MIDS) Community Assistance Package Pilot program. This program was sponsored by the University of Minnesota – Extension service, MPCA, the Builder's Association of Minnesota, and EPA. The goals of the program were:

**The New MS4  
permitting  
process and**

- Review our Existing ordinances related to management of stormwater, runoff, and development practices

**how it relates  
to Best**

- Receive new MIDS model ordinances
- Recommendations and guidance for local revisions and opportunities

**Management  
Practices and**

- Customized training
- Streamline compliance for State water quality regulations

**Minimum**

**Impact Design  
Standards**

It is important to note that the City of East Bethel is a Municipal Separate Storm Sewer (MS4) community and are already required to follow MPCA rules regulating storm sewer. The MIDS project went beyond just looking at MS4 permitting and set the stage for land use, land management and water management through best management practices, streamlined approval and permitting process, and a method for calculating water impacts in the community.

Another important note is that the City of East Bethel is part of 2 different Watershed Districts – The Upper Rum River and the Sunrise River. Both of these districts are governed by Watershed Management Organizations that already require Best Management practices (BMP) and Minimum Impact Design Standards related to water quality and development. An example of a recent project that was completed using BMP's is the Walmart that was just built on Hwy. 65 in Blaine, MN. That project is located in the Coon Creek Watershed District and had certain requirements that needed to be met and the result was a low impact design for the treating of the storm sewer on

that site. This example illustrates the way that storm sewer is now handled in commercial development projects.

In the year that we have been discussing MIDS, several things have happened at the State and Federal level related to stormwater management as well as overall water quality management. August 1, 2013 new rules went in to effect by the MPCA for MS 4 communities, of which the City of East Bethel is one. **Please find attached a handout that discusses what an MS 4 community is and requirements that they have to meet.**

There has been some concern on the part of the City Council that if we move forward and implement the recommendations that are outlined by the MIDS assistance package that we would be creating a negative impact on development and increasing development costs. Further the City Council is also concerned about MIDS on small-scale projects, including individual lots. The Planning Commission shares some of those same concerns, particularly when it comes to small projects and individuals. The Planning Commission and Staff recommend moving forward with managing what is required under MS4 permitting at this time as that now deals with low impact development practices. Craig Jochum, City Engineer will be making a presentation that discusses MS4 permitting.

Jochum handed out a sheet to everyone. This summarizes the standards that are out today and what is coming. Maybe that will help you make a decision on which way you want to go as a city. The three standards are infiltration, quality and control. If a developer came into East Bethel today, they would follow the Upper Rum and Sunrise WMO standards. They are in general the same standards - .5 inches of runoff, 2.5 inch store event and 2, 10 and 100 year storms. Those requirements have all been around for a while. The General Construction permit standards have always been in effect, but they were changed as of August 1, 2013. This particular standard applies with an addition of 1 acre of impervious surface. The new General MS4 permit is now coming up in January 1, 2014. This will bring in cities greater than 5,000. It started out that it was the bigger cities.

MIDS was put into place so it would comply with the net increase for the NPDES. It really comes down to looking at developers. Some are pushing the MIDS so it is standard wherever you go. Others want to do it on a case-by-case basis. Each site is going to be different. There are already requirements in place, whether you go with MIDS, you will still be faced with your new permit on January 1, 2014. Davis asked what would be more restrictive. Jochum said it would be site restrictive. Davis asked if a larger impervious area would be more restrictive. Jochum said if you are tearing down woods, then it would be harder to meet the no net increase. It is very site specific. Every way you go, he is not sure what is all involved.

Davis said one of the question about the standards, if you adopt one, then which standard usurps the other. Jochum said if you adopt a MIDS program that will satisfy the general permit. Davis said if we have a MIDS program in place would that satisfy the MS4 permit. Jochum said we have to apply our SWPP by January 1, 2014. They are trusting you to develop a SWPP to comply with the MS4. It is self-policing.

Butler asked if it is determined that we are not in alignment, how do they determine that. Jochum said this is for new development and redevelopment. Butler said what if you are not in alignment a few years later after an audit. Jochum said he doesn't see that happening. The City will review the standards they won't review it to that degree. They will review that you have the ordinances in place. It is up to the City to make sure. Butler wanted to know if we had a hydrologist on staff. Davis stated the City Engineer

would review. Balfany said MIDS would have taken care of all of this.

Ronning asked for the history of the permits. Jochum said the General Construction permit has been around for many years. If you disturb an acre of land, then you have to get the permit. It is statewide. Ronning said I thought you said renew a permit. Jochum said it is a permit that expires in 2014. Ronning wanted to know if we had a copy of the permits on file. Davis said yes, we do have copies. Jochum provided copies of the General Construction Permit and the MS4 Permit. That is the standard, and you have to write the SWPP to handle that. Ronning said he was reading the eligibility, and wondering if we fit that. Jochum said yes, we are in an urban area and also have a population of more than 5,000. Balfany said we are MS4 plain and simple. Balfany asked if it would be advantageous for us to adopt MIDS. Jochum said he would like to look at it more to give a recommendation. Balfany said he thought there was a requirement and that he didn't want a small project to be included. Davis said we could modify those proposals to meet our needs. These are particular areas of concerns and we do have the latitude to make those changes. Balfany the purpose of MIDS was to get us to look at what works for our City. We had the ability to modify the land disturbances. We went through it for a reason. We don't want to let it go, just because there is a new process.

Cornicelli stated all of our discussions were really about new development, not redevelopment. Balfany said yes. Moegerle asked if someone subdivides their property, and then they grade to put in their garage and out-structures does that trigger this and do we want it to? Is this residential or commercial? Mundle asked if you are looking at high density, would that be covered. Cornicelli said yes.

Moegerle was wondering how disturbance was defined. Jochum said that is something we need to look at. Landwehr said the MPCA does have a definition of disturbance. Ronning said the term any disturbance, is for the person to do the checking. He asked if there are any exceptions. Cornicelli said it is zoned agriculture. Jochum said development and redevelopment are the categories, so in a sense they are except. Moegerle wants the definition of disturbance provided.

Davis said would it be beneficial for the City Engineer to look at the two, provide definitions, and with staff assistance could they still be tailored to the City. Balfany said we went through the rough ordinances, and before we spent any more time, we wanted Council's recommendation, and then we would look at making changes to the ordinances. Cornicelli said he also thought the same thing. Jochum said MIDS is a general term. He doesn't know how erroneous the ordinances are. The storm water standards aren't a big deal. He doesn't know what else is coming along with the ordinances. Moegerle asked if Jochum could put together a table of comparing apples to apples, that summary format might be more helpful. Jochum said he could. Balfany said the whole point was to adopt some minimum impact design standards. Jochum said a lot of times that goes along with that, is ordinances. Ronning was wondering how broadly the term development is. Jochum said that is defined.

Moegerle asked if you had enough direction at this point. Are there any other concepts that we need to have for Council or this group? Balfany said he doesn't think so. Terry said in the terms of smaller roadway widths, he objected to that, because of road safety. Bonin said they have a cul-de-sac and no one uses the whole circumference. Ronning said the clock is ticking and wants to know what is the drop-dead date. Jochum said January 1, 2014, that is when the application is due. Balfany said we either need to adopt MIDS or apply for the permit. Moegerle said the last Council meeting is December 18, 2013. Ronning asked if the SWPP goes in with the permit. Jochum said you submit

your SWPP and your done.

**Discussion regarding the Highway 65 corridor**

Discussion regarding the Highway 65 corridor

- Background information – Jack Davis, City Administrator
- Three potential Zoning Classification changes
- Hwy 65 Corridor discussion

In 2009 the City of East Bethel approved a Comprehensive Plan and Future Land Use Map for the community. Since that time, there have been some significant changes in the community – namely municipal sewer and water. The scale of the municipal sewer and water project is much smaller than what was originally envisioned, and that along with the economic downturn and slow recovery have had an impact on development now and in the future. With that in mind, it is a good time to look at how we can best market “The Corridor” and position East Bethel as a community that is open to new businesses and development. There are three specific areas where the Land Use and underlying Zoning may need to be changed, and there may be other areas as well where the Land Use simply does not fit what is needed for East Bethel. The three areas that need to be looked at are:

1. West side in Sewer and Water District – Need to look at changing this to Light Industrial to support the application as a Shovel Ready Site to MN Dept. of Employment and Economic Development. This has been a priority for the EDA and the new designation would allow us submit a single application.
2. City Center District – Is this still applicable? The concepts outlined in this district are ones that could apply to many areas in the corridor and we may want to look at expanding this area.
3. Higher Density Residential Development – Look at implementing Planned Unit Development Concepts, similar to the City Center District.

Other areas to discuss:

- Viking Blvd.
- MPCA landfill site – required zoning change.

Attachments:

- Future Land Use Map
- West end map
- MPCA map
- City Center requirements

The Sept. 23<sup>rd</sup> meeting is a Strategic Planning Session and as a group the following questions should be answered:

1. Do you agree with Staff’s recommendations to propose changing the Comprehensive Plan to reflect the change in Land Use designations as outlined above?
2. Should the focus of modifications to the Comprehensive Plan be limited to the Highway 65 corridor?
3. Should Viking Boulevard be designated a different zoning classification to reflect the business community that exists along that street?
4. Are there other areas that should be looked at for higher density residential development?

Do we want to have zoning in place that is flexible enough to allow a number of different uses to coexist together with common design elements (reference City Center corridor)?

Davis said regarding number one – we feel this area is light industrial, especially the area that doesn't front Hwy 65. Changing the zoning would give more flexibility. Landwehr said B1 and B2 are still permitted uses in that area. Davis said the character of this area is really light industrial. Unless there is another access point, the commercial use will be limited.

The other area we would like to have reconsidered for zoning would be the City Center area. It is a grand idea, and he doesn't think it will ever happen. We need to find something that is realistic. The other areas that we talked about are higher density uses. We may want to consider some sort of a concept that is a form based zoning component, like a PUD.

The other areas that we want to look at area by 221<sup>st</sup>. The one area that we have been mandated to make a change on is the MPCA landfill. That has to be changed to give it certain protections.

The other area is to the east of Hwy 65 on Hwy 22. This is currently a mixed commercial/residential area. We would should look at this area all the way down to the East Bethel Fire Department.

Balfany said we had an issue on Viking where the gas station went vacant, and needed a conditional use permit because it sat vacant for over a year. So it lost its legal non-conforming use. Davis said that is clearly a commercial use Balfany doesn't know why we wouldn't look at it going the other way also. Moegerle said it was recently changed to residential. Davis said from Jackson Street west it is residential. Moegerle said going east it used to be commercial, and was recently switched to residential. Davis said it was done because at some point it was thought that County Road 22 would be turned over to the State, and it would be cheaper to buy residential versus commercial right of way for future improvements. The potential four lane of Viking was talked about. Davis said it was a concept that was discussed once upon a time but based on information from MnDOT, it is not going to happen anytime in the near future

Davis said he recommends that we look at the requirements for the specific zoning classifications. We need to look at outdoor storage in the B-1 and B-2 categories. He thinks some of those things might be a little too restrictive. He thinks there maybe other ways to address the intent. Butler said it allows you to have an enclosure for your recycling bin and dumpster. Davis said you are looking at a very small space. He understands the primary intent is so we don't have wall-to-wall car lots in East Bethel. We need to work to achieve that objective where we could do it, so it isn't so restrictive. Moegerle said she is looking at light industrial and B1. So is there a way to say, this is either B1 or Industrial. Davis said the only area that is B1 is a small area at the 22 and 17. Moegerle said she was thinking the NW corner would be B1.

Davis stated that it is important to remember too, that when it was done it reflected the conditions of the time. It needs to be modified to reflect current conditions. It was probably cutting edge at the time. Is this something that we want to look at? Commissioners agreed it is something that we have to look at. There is no right or wrong answer. Bonin said if we are suggesting the development of two areas, we are looking doing too much. We need to focus on one area. She is not sure that is going to happen. Moegerle said isn't that driven by the demand. Davis said why we would like to it all together as a total package to minimize the reviews by Met Council. We want to send one packet of changes to them. If it were possible to make all the changes at one time, it would simplify things. Bonin said we would do the zoning and not promote the

other areas. Davis said we would promote all the areas in the sewer district first.

Bezanson said he sees the growth being on the east side. Davis said if we are talking about growth, we will be looking at nodes – 221<sup>st</sup>/Hwy 65 and Sims/Hwy 65. When something big comes in, the City might have to consider investing in infrastructure. There will be additional costs for water. What he envisions is at Sims/Hwy 65, there will need to be a new water tower and treatment installed at some point in the future.

Bezanson stated that he has always thought that you need to adjust your zoning because you have a better chance of businesses of the same type to be there. He thinks that we should look at something along those lines. That is going to affect the marketability of the other properties.

Ronning said they took this to the Met Council three times before it was approved. They kept adding high-density housing. Davis stated that what we need to consider, if we were looking at numbers, the bulk of commercial development will be at the major intersections. The infilling would be high density residential. To make the project cash flow 80% of the development in the Hwy 65 Corridor needs to be higher-density residential. We will have to double in population, and the population will have to happen in the sewer district. Davis said we need to look at form-based zoning/PUD. Butler said when you talk about residential housing on the Hwy 65, what are the traffic patterns. Where are the frontage roads? How we are going to route the traffic. The way they have Hwy 65 set up now, are they going to build bridges? Davis stated that there are going to be no improvements on our main intersections for at least 20 years, or 30 years. The Anoka County Hwy Department and MnDOT have said there are four other intersections south of Viking that will probably be done prior to those in East Bethel. They will take out signals and put in overpasses. Bunker will happen first, then Crosstown and then Constance. Last would be Viking. We cannot wait on Anoka County or MnDOT on this. Ronning said housing on Hwy 65 would be like having a railroad tracks in front of your house. He doesn't know anyone that wants to live by Hwy 65. Balfany said there is a demand. The commissioners discussed how people like different things. There are demands for all types of property.

Davis stated, that as we talk about development, we need to attempt to concentrate development along the Hwy 65 corridor. The pace of the development is the question. Cornicelli asked if developers are approaching us? Davis stated we have been working with developers for the NW corner of Viking Boulevard and a couple of other properties. We are working actively on two properties. Going north of Hwy 65, we have had a little interest and there has been some interest on the Fat Boys property. Balfany asked if there has been anything done to reach out to local and national builders. The ERUs are going to come from high density. Davis stated we are continually talking to developers and site selectors. Julie Lux has been very helpful in getting us contacts. We have been approaching things in broad range. There are a lot of opportunities here.

Balfany asked if there is anything that is hindering us from attracting business. Davis said from 2008-2010 we had a moratorium on the Hwy 65 corridor. There may be some people that think that still exists. We do have to do a better job at overcoming our past image and provide a unified voice as a City. We are in a very competitive game. We have to use all of the tools available to us.

Plaisance says he thinks there is a lack of identity. We can't even decide among ourselves what is the best place. How do we make that happen? We have to start by going and finding these businesses. Investments are these portions of the municipal utilities project. The small area is the seed, and developer driven to extend it further

north. Because of certain economic realities, that won't happen. When he talks investment, if something happens at Hwy 65/Sims, we may have to extend services. To put in more money, we have to make sure we have the development lined up. Industrial developments will be looking for something along with commercial. We will have to commit to some of those things in the future. Balfany said to take one step back; we have to have a uniform message. That is the very beginning and positive image. It has to be scripted. He doesn't see a whole lot of positive coming out. We have to have a positive message. We all have to be on the same page so it is uniform and it is out there. It's Marketing 101, you can't be part of a group where 50 people are saying 50 different things. Cornicelli said the Ady Voltedge study identified ways to work on that. Butler said the EDA assisted with the formation of a Chamber of Commerce. He appreciates what everyone does. To parrot what Balfany said, we need to focus on the big issues to present to the City Council. We need to present the City in the best light possible all the time.

**Moegerle motioned to adjourn the meeting. Cornicelli seconded; all in favor, motion carries.**

Respectfully submitted by:

Jill Anderson  
Recording Secretary

## EAST BETHEL PLANNING COMMISSION MEETING

October 22, 2013

The East Bethel Planning Commission met on October 22, 2013 at 7:00 P.M for their regular meeting at City Hall.

MEMBERS PRESENT:    Tanner Balfany    Lorraine Bonin    Lou Cornicelli  
                                 Eldon Holmes    Brian Mundle, Jr.    Randy Plaisance  
                                 Glenn Terry

ALSO PRESENT:        Colleen Winter, Community Development Director  
                                 Tom Ronning, City Council Member

**Call to Order                    Balfany called the meeting to order at 7:00 PM.**

**Adopt Agenda                Holmes made a motion to adopt the October 22, 2013 Planning Commission agenda. Terry seconded all in favor, motion carries unanimously.**

Shaw Concept Plan –    Winters, “Mr. Shaw is proposing to build a single family residential  
62 single family        development. The property is zoned three different ways – City Center, R2 and  
Planned Unit            R1 with a Planned Unit Development overlay in the R1 and R2 districts.

Development – Zoning  
R1, R2 and CC

The primary purpose of the planned unit development (PUD) provisions is to allow flexibility and variation from conventional ordinance standards in exchange for higher standards of development design and creativity, architectural control, natural resource protection, landscaping, parks, public and private open space protection, pedestrian access, and multi-use corridor opportunities. Mr. Shaw is proposing to fill in a pond to create lots around it. This concept plan is a 62 Unit single family residential development, probably 4 units per acre. They are being marketed on a smaller building pad. They are proposing to have sidewalks along all of the roadways. They have also incorporated a trail around the pond and it also connects into the sidewalks. The outlots that he has along the other portion of the property, are not developable, but Outlot B is developable for Commercial development.

The entrance into this subdivision is Taylor Street and another street, which is possibly 193<sup>rd</sup> Lane. He doesn't own this property, so for the interim he is showing this exiting onto Jackson Street. Jackson Street is a north/south street. This is just a Concept Plan, but when we get to the platting process, they are on a fast track and would like to precede with the Preliminary Plat at next month's Planning Commission meeting and the Final Plat the meeting after that. As we get into the platting process the Anoka County Soil and Water Conservation District, Anoka County Highway Department, and other respective entities would be notified and have a certain amount of time to respond.

The purpose of bringing this before the Planning Commission tonight is to really get your input as far as how you feel about the Concept Plan. Are there any other amenities you would like to see Mr. Shaw include? And, then just moving forward so he can proceed with the next step, which is Preliminary Plat.”

Bonin, "So the manmade pond is not something that is a hindrance in any way?" Winter, "No. It was manmade and not designated as part of a wetland at all. It will probably be something that will be used as part of their surface and storm water management." Bonin, "Part of it? Or the main thing?" Winter, "If you note that above Outlot A, they might use this area as well. The permitting process has changed, so you will see a change in how surface and storm water is managed. You might see a series of smaller ponds that are minimum impact." Balfany, "Similar to what we seen in the Minimum Impact Design Standards (MIDS)?" Winter, "Yes, exactly." Cornicelli, "So, is the pond currently a retention pond for natural run-off or what is the use of it?" Winter, "At one time, they needed to mitigate wetlands where East Bethel Properties is, so they created this here." Bonin, "If it was mitigated, doesn't it have restrictions?" Winter, "Actually, the stuff that was mitigated was on Outlot A. This was just manmade and it doesn't show up on our wetland inventory at all."

Terry, "I don't understand how this development would fit the primary purpose of the Planned Unit Development as defined here. I don't see anything that would indicate a higher level of design and creativity, architectural control. They show a sample of a frontage where you have basically a garage with a house behind it, doesn't seem like an architecturally inspiring design. And, I don't see where this is landscaping, open space, public parks, and public and private open space protection. You are taking open space and cramming as many lots in to it as possible. How does that serve the purpose of the City in granting higher density for some trade-offs or benefits to the City?" Winter, "One of the things we did talk to the developer about, and the Road Commission did look at this, I don't know about the Park Commission is not very far from here there is already an existing park facility. And, there is also land that is owned by Anoka County. So, we didn't feel it was necessary to put a park in here." Terry, "I am not saying it is necessary to have a park. I am saying what does this have to do with a PUD? What public interest is it serving?"

Winter, "I think it is serving the marketplace as far as getting residential development to East Bethel. The other thing it is doing is it is, and the developer has indicated, there will be some design standards implemented with this particular development so that homes that go in here will have to have some architectural features to make them a little more unique than if you were in a traditional single family development. The other thing it does have with the sidewalk and the little bit of a path is you do have the ability to move around the whole neighborhood. You do have the water tower that is just to the north of it. So, that is an open space area as well and of course they don't own that, we do. They also have the pond in the middle, which is also a feature." Terry, "A pond they are going to be shrinking to put in more houses. Basically, what I am getting at is the benefit to the City is to get more housing. As though that is the goal, we have developed City Sewer and Water so we can cram houses in here to pay for it." Winter, "I don't know that is the only benefit. But, I think it does state in our Comp Plan that single family residential, we want to provide that to the City." Terry, "But this is granting an exemption to our zoning in order to pack things more tightly together. Usually there is a reason for doing that, creating open space, parks, creating something that would benefit the City. This is packing in

more housing for the sake of packing in more housing.”

Bonin, “That is what this whole area is designed for, denser housing.” Winter, “It does have a PUD Overlay on top of it, that has been there and that was part of the Comp Plan. So this area was already designated PUD Overlay District. I think yes, it is a higher density, no one could argue that. But this is an opportunity for the Planning Commission to be able to say in the Concept Plan stage if there are things you want to see the developer add that would make it more architecturally appealing, more of a cohesive design, this would be the time to do that. The developer has indicated that they have an interest in making sure there is integrity to the design and what they are preserving. They aren’t filling in the entire pond. There is an eight foot walking trail. If you are looking for something unique, this property is not overly unique. There isn’t a stand of oak trees, or something. It does fit the criteria of our Comp Plan and is part of the PUD Overlay District.”

Mundle, “Is the PUD Overlay package put together, any covenants available the yet?” Winter, “Not yet. I think this is the first shot you have. Our ordinances are very generic when it comes to the PUD’s. I think you have a chance to weigh in or direct staff to work with the developer on whatever you would like to see put in.” Bonin, “And those things would show next month or whenever they come back?” Winter, “Yes, they could come back at the Preliminary Plat with some renderings of the architectural standards of the homes. I can’t speak for the developer, but I think he would be willing to provide that. The folks he is working with are very familiar with PUDs. They have done them in several communities.” Cornicelli, “Are the MIDS standards going to be incorporated?” Winter, “Right now the MIDS standards are at the PCA for review. That is where it stands as far as the Ms4 permitting process. We are going to see where that goes. That is 1 inch surface run-off, no impact.”

Mundle, “You said there will be no park in here. What happens with the park fees?” Winter, “They will still get paid. Park Dedication fees you can do cash or land. In this case we felt with the other parks being so close in location that it made more sense to have them pay the cash. And, that is set aside to go towards improvements towards the parks.” Cornicelli, “How far is the closest park?” Winter, “A quarter mile.”

Balfany, “As far as the water feature goes, if there something that can happen to make sure it is well maintained? There is nothing worse than going to a development and setting them all overgrown and not being maintained.” Winter, “Depending on how they design it, whether or not they use it for the surface or storm water run-off, there are things that can be added to it so that it can be maintained. We do have landscape provisions when we get into the design of it. There are also buffer strips that are required around wetlands and water features.” Balfany, “Not that I want to compare this to Blaine. They have done a good job with their water features and I think most of them are stocked. That might help with design features.” Winter, “You also have the water feature to the east.”

Cornicelli, “Historical question for Eldon. Developments in the past, have the typically exempted the park open space? Or have they tried to incorporate them into almost all of them?” Holmes, “They have tried to incorporate them into

almost all of them that I know of.” Mundle, “It defers with every developer.” Winter, “We had this discussion at the staff level and right now we do have a vast inventory of parks. Some are used very regularly and some not at all. And, we felt it would be better due to the connections we have in this development to the walking and biking trail. Given that fact that there is a park so close by.” Terry, “Those connections, walking/bike paths service the residents that would be living in this development. But, it is nothing that any in the City would make use of unless they were visiting any of the 62 residents.” Balfany, “But, we are also talking about one of the first depending on how this develops down the road.” Terry, “Right.” Winter, “So depending on how this is staged say to the east. And, again, we would have to look at that wetland. There may be a way to connect that commercial development into this as well.” Balfany, “Or in the future, to the north. Might help set that standard.”

Holmes, “I would like to see how the pond is going to be re-landscaped. They just drew over it and this is not near the finished product. And the proposed cul-de-sac, why do we have that versus going all the way through to Taylor?” Winter, “We did talk about that at the staff level and with the developer. The issue we have is on the other side of Taylor it is gravel. And, it doesn’t have a large density of homes. And, the only way we would have to get that improved is with an assessment process with the people that live there. And, the feeling was that until that is developed more that should just end in a cul-de-sac versus being a through street just because of where it is. Do you want that many cars going up and down a gravel road? We felt it might be better if we brought them to Co. Road 22. I am sure the county will require a turn lane access on Co. Road 22 for this.”

Holmes, “The reason I asked is the fire department has to get to these houses and Co. Road 22 is busy and if they could get to these houses a back way and a fire truck doesn’t care whether it is gravel or asphalt. I think it would be advantageous for that to be run through there even if it is only for fire protection.” Winter, “We can have someone from that department look at this.” Terry, “Plus if there were ever some kind of blockage on Co. Road 22, some kind of disaster, that would be a problem that would be easily solved.” Mundle, “Doesn’t it also connect to Jackson here?” Bonin, “It isn’t the only place where we will have a surface road stopping and a gravel road continuing. So, it is not something unusual here, we have several places like that.” Terry, “Usually when you have a situation like this you want the developer to put in the road rather than wondering how it is going to get done later. It is an incentive for the developer to do so.”

Holmes, “Mr. Shaw, you have 62 lots, how many different style houses will you there be in there? Or will it be just two different foot plans?” Don Shaw, “What we plan is to put in two different style homes. Walkout basements towards the north because that is a little higher. Anything towards the pond, you will walk out and then it will drop down so there won’t be a definition difference. We will bring in a plan showing how the pond is finished off. As far as the houses we plan on two different styles, mostly split entry and then walk outs. We are going to have covenants on them as far as styles.” Holmes, “So, in other words you are going to have two different style homes and you can flip flop the rooms and that

is it.” Shaw, “Probably, I really am not sure. The builder has a few different layouts for the next meeting that he will have for us.” Mundle, “Who is the builder?” Shaw, “There will be a couple different ones. I haven’t chosen which one yet. But, the one that has been working with us is Mulder Contracting.”

Bonin, “You have two designs, a walk out and not a walk out and still have quite a few variations on the designs.” Shaw, “I would assume so. I do not want this to be a crackerjack place.” Holmes, “What I am trying to get at is what I would oppose. In Blaine over by Roosevelt School there is a development with only four floor plans and they just flip flop them. They all look the same and to me it is just sad. There is no ingenuity.” Mundle, “One of the things we can ask, or build into the covenants, is that no two house faces next to each other or across from each other look the same.” Balfany, “There are simple ways of changing house faces by extending out, or eyebrows.” Holmes, “I understand that, but is this going to be open to a customer comes in and says, “I saw a house over there and I want to put it on lot 6.” Shaw, “If it will fit on that spot, definitely.” Holmes, “It will be a design build type if possible?” Shaw, “Right.” Balfany, “So, it sounds like it will allow for a custom home style.” Holmes, “I hope so.”

Balfany, “I don’t want to see the same house, crackerjack style either.” Holmes, “I know some people that live over in that other spot and they go to their neighbors and they know where everything is, because they have the house flip-flopped. How sad is that. You come to my house and no one has one like it and I think that adds to the beauty of the City actually.” Balfany, “So then it would be fair to say what we are looking for at the next meeting is to see a multitude of home styles that would be available and would fit and could possibly be part of the covenants.”

Mundle, “You would be just acting as the developer, not the builder?” What are your projected lot sales?” Shaw, “Yes, I will be the developer. That is unknown yet, \$40,000 to 80,000. Until I go in and negotiate with the builder, a lot of that determines the price of the lot.” Mundle, “Once you choose your builder it will be a closed development?” Shaw, “No, but, it will be limited. I want builders I trust. I don’t want just anyone out there pounding nails. I do have pride in development.” Winter, “The one thing that we indicated to Mr. Shaw that we would like to have is some sort of lighting.” Shaw, “I don’t think that would be a bad thing. For the walkways.” Winter, “And clustered mailboxes.” Shaw, “We have talked about these things and understand that this is a lot to throw at you at one time.” Mundle, “If everything was streamlined, when would you start development?” Shaw, “I would start as soon as we had a permit on the pond. By mid-summer houses would be going in next summer. That pond got way over-mined.” Bonin “How deep is it?” Shaw, “I think it is 32 feet.” Holmes, “Will there be fire hydrants in there?” Shaw, “I assume there has to be.” Mundle, “Have you figured out WAC and SAC fees?” Shaw, “No we haven’t talked about that.” Winter, “They will be what is set by Met Council and what we already have.” Balfany, “Around the pond, could there be park benches to stop and view.” Shaw, “Yes, and I talked to the City people when I sold that pond to the City to see if we could take some of that hill down, and it would be a flatter area for you to mow.”

Holmes, "The south berm, how high do you plan on putting that?" Shaw, "Six feet. It won't be flat, we will have curve in it." Holmes, "You want to put a berm in, not a fence?" Shaw, "I think noise wise for the people; it would be a lot better." Winter, "From a planning standpoint, we would rather see that." Shaw, "From where the Decker Lumber building was, it is all wetland there. But, our plan is to enhance that wetland area there. We are in conversations with the DNR to see what we can do to help that whole thing out."

Terry, "Looking at Section 2, Lots 6, 7 & 8 and Section 1, Lots 20, 21 & 22 where you have these pie shaped lots and then I look at number 14 where you have a house and garage in there for example, it seems that these would be better served by having two instead of three pie shaped lots." Shaw, "On the back side of those lots, it is all wetlands, so you can't put anything there." Terry, "Right, but you are cramming all those houses in there." Mundle, "If you were to cut the rear ends off, it wouldn't matter in the lot detail size." Plaisance, "I would be more concerned about the ones that are right along Co. Road 22. Because you have the berm there, then the sidewalk in front. It will be quite far in the future, but any developments to Co. Road 22, will that affect how close they are to the road?" Winter, "One thing about Co. Road 22 is the Right-of-Way that they have for the road. You are not right on the road; it is a little deceiving on the map because they are actually setback quite a ways from the centerline of Co. Road 22." Plaisance, "I did compare with the house that is already there on the corner of Jackson and Co. Road 22, putting that into those lots. I look at that and boy it is tight. That house doesn't seem that big to me when I look at it. Not an objection, just an observation."

Bonin, "I think in an area like this, what you are going to have is individual houses close together. This is the idea of this kind of development. And, to be concerned about what you have around them is sort of beside the point in this sort of development. You have some minimum that you are going to maintain, but, that is not the idea. This is a development that is single family residential, but not apartments. But, you can use the term, you can use the term, you are cramming them together because that is the idea of this particular area." Balfany, "I fully agree with you. And when you look at some of the developments in our neighboring cities, I will pick on Andover. When you drive down Crosstown right now, I have a feeling if I was driving down Viking versus Crosstown I will be looking at something similar, distance and space wise. This is what we are seeing today. This is the standard." Terry, "This is a very poor standard. Why do you want to bring a poor standard into this City if we weren't going there currently? It is only going there if that is where we want to go. Apparently, people have made themselves comfortable with that."

Shaw, "The worst of it is, that is what our new generation is. Our new generation doesn't want a yard to mow. They want a house and a small yard so they can go play. That is what we have found everywhere." Terry, "That is why Blaine is Blaine." Bonin, "We don't have to be Blaine. We can maintain some individuality and quality to it." Winter, "There are two distinct things that happened in East Bethel. We have the corridor and this is part of that corridor development just because of the location where it is located. And, you have the rural character of East Bethel that isn't going to change. You sort of have these

two co-existing realities that you have. The reality is we need to be looking at some urban density. It makes sense to put it here.” Balfany, “There is a generation that will fit this suit. They want to be right next to it all. And then there is the other buyer that wants the other lots and we have that too.” Winter, “There is a way that we can preserve as much as we can. This lot is not really uniquely distinct. But, the developer has indicated that they are willing to work with us. We could make it a connective neighborhood. They will have that connection as a neighborhood.”

Plaisance, “Assuming this was to go forward and assuming again that the corner of Highway 65 and Co. Road 22 gets developed and assuming it is retail. If Outlot A is wetland does that preclude any connection from that retail?” Winter, “We had talked about that. I think we can make a connection to that retail, but, that will be a conversation we will have not only with Mr. Shaw but also with the East Bethel Property owner’s when they get ready to develop. We have talked about that, it is wet, it will be a little bit of a challenge, but there may be an opportunity here.” Plaisance, “Great. I am thinking a trail or path. Obviously if there is going to be this type of housing there will be young children in this neighborhood and I certainly don’t want them walking along Co. Road 22 or the Highway to get to the shops.”

Zoning Text  
Amendment –  
Accessory Structure

Winter, “At a Special City Council meeting that took place on Sept. 25, 2013 the City Council discussed the Zoning Text Amendment and recommendations forwarded by the Planning Commission. They voted to approve the changes, but wanted the Planning Commission to look at some other areas and discuss. Those areas are:

**2A - General Regulations** – Language without prior approval of the City Council had been eliminated. One Councilperson wanted to consider leaving that language in the ordinance. I explained that we had removed it because other sections of our ordinance reference that you cannot build a garage prior to the house being built and by removing this language it just kept consistency throughout the Zoning Ordinance. Council still wanted Planning Commission to look at this section.

**2J – Fish Houses** – Council felt that fish houses, especially the new ones that are on trailers or skids should not be considered accessory structures. This made sense.

**2E – Pole type buildings** – Clean up language to read Pole-type, steel frame, or other accessory structures that have exterior siding or roof of sheet metal must be on 3 acre lots or larger. To that end, Randy brought up a good point that we do allow a 120 foot garden shed and often times those are metal.

**2L – Exterior Stairs** – should read no larger than a 6 ft. x 6 ft. landing at the top of the stairs. Council would like to consider including language that states stairs should be located in a side or rear yard.

**4A – Size and number of Accessory Structures** – There was a

discussion regarding the wall height. It may make sense to consider changing the wall height to be the same in all zoning districts and have it related to parcel size. So for example in an R1 Zoning district if you have more than 1.01 acres you could have 12 foot sidewalls instead of 10 foot sidewalls. There was also a discussion of how to measure wall height. In Section 4A – Maximum height is measured from the floor surface to the underside of the ceiling member. In the orange brochure that we hand out to folks regarding Accessory Structures – Height is defined “Height of structure from grade.” This needs to be changed to be consistent.

Mundle, “Was the Building Official asked about what he would like this to be? I would like to see his recommendation.” Holmes, “Look at State Building Code.”

**Other Comments:** One Council member wanted to include a commentary section explaining why the proposed changes were made. According to our City Attorney it is legal to add a comment section at the end. History of how this ordinance came to be.

Mundle, “Is that a comment section in the ordinance itself?” Cornicelli, “Do we do that with other ordinances?” Winter, “No we don’t.” Mundle, “How about as an alternative, the City Planner has their own book of ordinances that says why the commission made the changes. And if the question is asked, they can refer back to their book.” Cornicelli, “The information may be useful, but not in the ordinance.” Winter, “It is in the Municode when it is adopted.”

Balfany, “Starting back on 2A.” Terry, “I think we made the right call in trying to get the language consistent.” Cornicelli, “I agree.” Balfany, “I don’t see any reason to change it.” Holmes, “You might want to put it in, “Without prior approval of the Building Official.” Cornicelli, “But, it is already addressed in other areas.” Holmes, “I understand that. Just reaffirming.” Mundle, “To do it, wouldn’t they have to get a variance? So they would have to go before the Council anyway. That was the reasoning behind it.” Winter, “I think the reasoning was what if you have someone that wants to put up a pole building and they aren’t going to build a house there, it is just for hunting maybe. Then we get into they might not put in sewer and water and other considerations. But, some people are going to come in and request to put up a pole building on their 20 acres because they just want to have storage on it.” Terry, “It is good that they want to do that, but, by them needing a variance, it assures us that they aren’t doing something they shouldn’t be doing.”

Mundle, “In the areas this is addressed, is it addressing the same issue?” Winter, “We just don’t have the language “Prior approval of City Council”. We just say that the principal structure has to be built.” Plaisance, “So the question being, is there another section that says that the primary structure has to be built first why even have this in here at all?” Winter, “That was kind of where we were going with it.” Plaisance, “Because to me the only reason to have it in here is with the exception of needing the approval of City Council. Why not strike it out if this is in another section, in building accessory structures, if you have to build first, then it becomes a moot point.”

Mundle, "Do those other sections include accessory structures?" Winter, "R1, R2, they all include setbacks as far as accessory structures go. I am also looking up the other section." Terry, "The reason why it is good to have it in this accessory structure section is because if someone is just interested in that, they might not go to the other areas." Mundle, "It may be redundant, but if someone just looks at this section then they will have this included." Holmes, "But if someone gets a permit, then someone at City Hall is issuing a permit, they should know. I like it in there also." Plaisance, "It is fine with me if we leave it there." Winter, "Without Prior Approval of City Council, you want to leave it?" Mundle, "Unless there is a pressing issue to change it, why change it?" Holmes, "If I look at this and see, "Without prior approval of City Council", that means something to me. It means that I can't just go do whatever I want to do. It is telling that person that there is something else that has to happen."

Plaisance, "Would that bypass the need to get a variance if City Council approved it?" Winter, "Yes, it would." Plaisance, "Council then gives them the approval?" Mundle, "It would have to go through us first and then the Council." Winter, "We would still have to follow the same procedure." Holmes, "But this is telling that person that, you can't just go build it." Mundle, "But, it isn't an absolute no." Plaisance, "I was looking at processes, are we going to have to look at reasons why we are making this variance? As opposed to City Council saying oh yeah, go ahead." Mundle, "It could be a simple situation that they need to build a pole barn before they build their house so that they can build parts of their house in their pole barn. Have to get building permit issued first and allow you to build structure first before house." Bonin, "Sounds like if you want to build a structure for hunting then you are precluding that." Mundle, "I am just using that as an example."

Balfany, "Sounds like there is no opposition to putting it back in." Terry, "If someone has 20 acres and they want to put a storage building only, isn't that their principal structure?" Mundle, "Are you asking what a principal structure is defined as?" Terry, "Is that defined as meaning a home? Because if that is all they are using their property for, why isn't that their principal structure?" Winter, "The definition we have is: The main use or principal land in which the property is conducted." Terry, "You could change it to principal residence."

Balfany, "Moving on to 2J Fish Houses." Winter, "You could strike that." Mundle, "Should they be addressed as far as quantity of?" Winter, "We do have a nuisance ordinance that addresses how many vehicles you can have." Balfany, "For me it is hard because some are on trailers, some aren't. Most people I know, once the ice is out and it is back on your property, it is being treated like a shed." Bonin, "I don't know if it makes any difference if it is on wheels or skids or whatever. It is still a shed that is going to be on your property depending on what we decide." Holmes, "It is a temporary structure." Cornicelli, "What if you put it in your garage?" Plaisance, "There is already a code on fish houses and how many you can have on a lot; we have it in our packet. It was (I) and this new one would be (J). You could remove the calculation and allow no more than one." Winter, "Then it needs to be removed from the accessory structures and included in another part of our ordinance. If we are just talking about how many you want

on your lot. I agree it shouldn't be counted against your accessory structures. We can still regulate fish houses. We will just move them to a different section. Otherwise, where do you draw the line?" Holmes, "We do have something in the ordinance about a temporary structure, correct?" Mundle, "Think it should be included somewhere, limited to a certain amount." Winter, "Temporary Structures definition includes ice fishing shanties and I will work it in there."

Balfany, "The next item, 2.E - Pole-type, steel frame, or other accessory structures that have exterior siding or roof of sheet metal must be on 3 acre lots or larger." Plaisance, "This is the one I have a problem with." Mundle, "Why don't you address it as anything over 121 square feet because that would eliminate your garden shed issues?" Plaisance, "Not necessarily. So when someone builds on one acre or less, 580 square foot pole building, that has to be permitted; if you were to put any siding on it to match the housing that would come under the E section, contained exterior siding. You are also talking about these other structures." Mundle, "Are you talking about any structure under 120?" Plaisance, "I am talking about any structure under 3 acres that we are saying you can build." Cornicelli, "Am I missing something?" Winter, "Maybe we need to say if it is less than three acres it shouldn't be a pole barn."

Tom Ronning, "Lorraine and Glenn, bear in mind a dog house is an accessory structure. If you make things too tight, think about what you are considering." Winter, "That was the discussion we had at Council. Trying to make sure we had the flexibility but maintaining the flexibility." Bonin, "We have an ordinance that says what percentage of a structure can cover your property. Maybe we should just do this by making the ordinance a percentage of coverage of the structure, whether it is permanent, an accessory structure, garden shed, can't put more than so much over the property and leave it up to them." Holmes, "If you have less than 3 acres there is no way you can put up a pole building. That is why it is in there at 3 acres. You are not going to build a pole barn that is 10 x 20. It is 25% of the lot isn't it?" Winter, "Maximum coverage is 50%." Winter, "The way our ordinance reads is you can have an accessory structure based on your acreage and in addition you are allowed one 120 square foot shed."

Plaisance, "I never had a problem with the 120 square feet. When you say any exterior structure that contains siding, that includes every single building there is." Cornicelli, "I agree, that is not the intent." Holmes, "When we went through this a few years back, the theory was if the building was the same face of the structure of the house, it could be beside or in front of the house. If it was pole type then it had to be behind the house. But then you get into pitch and roof." Cornicelli, "You could almost say contains metal exterior siding." Winter, "Maybe we just need a definition of Pole-type and I can include that and it will resolve that issue."

Winter, "Next we have the stairs and the Council just wanted Planning Commission to consider including language that states stairs should be located in a side or rear yard." Planning Commission consensus was that they are in agreement with this.

Winter, "There was a discussion regarding the wall height. I will refer back to the

code and check with the Building Official and get their comments on this.” Holmes, “Can we get back to the stairs? Stairs on the outside versus stairs on the inside. Outside you can get larger items in to the upstairs, inside you probably can’t. When they start building the structure they are going to have to have a load rating on the trusses. No one ever does that. So that is why the outside stairway was taken off.” Cornicelli, “The person that was here last time, when they asked for it they did have the load rating on the trusses.”

Holmes, “I am just saying in general, they are going to say, “I am going to build this and I am going to put some outside stairs on there and I am going to just buy some trusses. And, most of them won’t know what the load rating on those trusses is and now the City has a problem.” Winter, “One thing we can do to eliminate some of that is we can add this to the Goldenrod brochure that everyone gets. They couldn’t get a permit unless they did it after the fact. And, maybe it will be one of the questions we ask. We are going to give them flexibility on the roof style.” Bonin, “We have a neighbor who has built a garage and the roof of the garage is higher than the house. And it looks terrible. That should be addressed. If it is behind the house, then that is one thing.”

Holmes, “Obviously this is all being changed around, and if we make these changes and the City approves them. And, this person continues. And, the permit was taken out with the old plans, it can’t be done. The old permit has to expire and a new permit has to be issued, according to the State of Minnesota. You have to go according to the permit that you got at first.” Winter, “We have talked to the City Attorney to find out the order and we will verify that.” Ronning, “I don’t know about the law but how many homes have you seen changed after the permit is issued?” Mundle, “Not too many after the permit is issued. Not that are changes to what is allowed.” Holmes, “You have to go according to the ordinance at that time.” Winter, “We will go over what we are doing to make sure it is correct.”

Mundle, “I think the sidewall heights should be left as they are. The 10 foot height on the smaller lots is there for a reason. The property values could be affected if we change these and you are affecting your neighbor’s property. If someone builds a larger structure right in front of their neighbor’s window, it affects their value. Such as the lots we looked at tonight. The same principal applies.” Winter, “The reasoning behind this was looking at the underlying zoning district where we have Rural Residential that is denser. In R2 I understand what you are saying and we may want to take that out of there. You do have some zoned R1 that you might want to look at. We need to look at the acres. But, I respect that we may want to take R2 out of here. It should be consistent in allowing the 12 foot sidewall heights if they have the acreage.” Holmes, “When someone comes in for a permit for an accessory structure and they tell you what their acreage is do you check that?” Winter, “I verify that in our GeoMoose program before I sign off on it. I verify the size, check the wetlands and any other issues.”

**Mundle made a motion to approve the changes as follows to the Zoning Code Section 14: 2A, add back in “without prior approval of the City Council”, 2.J add Fish Houses under the definition of Temporary**

**Structures, 2.E define Pole-Type, 2.L include language that states stairs should be located in a side or rear yard, and 4.A remove R2 from the table with 12 foot sidewalls. Cornicelli seconded; all in favor, motion carries.**

#### Other Business

Doug Tierney of 4610 Viking, “About three months ago you were talking about lake types. I brought in a paper on classification. Last month Holmes mentioned mercury, and that it comes from Canada, the majority of it. Actually, the majority of it comes from our surrounding states. The talk about regional on here, 40% is the Dakotas coming in, global that is Canada. I thought I would bring this. A lot of people didn’t know about un-meandered and meandered lakes. Coon Lake is meandered and Anderson is un-meandered. If you look at the Anoka County GIS map you see their land goes right under the lake, they literally own the land under the lake. It is plotted right off. Thought I would bring this to you to read. Three pages. It is an element.” Balfany, “We appreciate the education.”

Sharon Johnson of 20201 Highway 65, “I was at the EDA meeting last night and I addressed some frustration I have about the zoning and planning of my property and I was asked to come to the meeting tonight. I am here to let you know what my situation is and to ask you to look at the Comprehensive Plan. My husband Bruce and I own Minnesota Fresh Farm, a new farm, but it has been in his family for three generations, four with our son and his new wife. We are a vegetable farm and we are looking to be an agri-tourism or agri-tainment business. It would be a destination farm to get people in to the farm or into the City. Our problem is we are zoned R2, and as far as we know there are only two properties zoned R2. Ours and Irene Stern’s. I met with City Staff and it was suggested that I apply for an IUP. But there were so many restrictions, I can only have three employees, (I have four) and traffic, I can’t generate any traffic.”

“So, I am coming here to ask you to look at the Comprehensive Plan look at why in the middle of business zoned properties are we R2 and if we go through with an IUP will there be some give and take. We can’t operate under the rules of an IUP. And what type of concerns do you have for this type of business.” Winter, “Just to add on with what Ms. Johnson is saying, we did meet in April and the suggestion was made while we are working on the Comprehensive Plan amendments that she apply for an IUP. It doesn’t make sense that they are zoned R2 because of the area surrounding them, it wouldn’t be an area where you could put townhomes.”

Mundle, “Did it used to be a nursery?” Johnson, “No a sod farm.” Holmes, “Basically when we went through all that, we knew there would be changes. We zoned it the best we could. We made some changes on Viking a few months after it was done. But, we don’t want everything changed.” Cornicelli, “Are you operating now?” Johnson, “Yes, we are operating a vegetable farm, but we are taking all of our vegetables outside of East Bethel. We do about eight farmers markets right now; it would be nice to keep that in East Bethel. It would be nice to bring people into East Bethel.” Cornicelli, “Could we do an IUP outside of the normal until this all gets worked out? I know that sets a precedent, but has one already been set?” Winter, “No, I don’t think that would be setting a precedent. I think you could work within your IUP process and define it. This whole area might be appropriately naturally area, or whatever you desire to name it. We

have much better areas for high density.” Cornicelli, “Could the City work with Ms. Johnson and bring something back to us?”

Holmes, “Why do an IUP? Why not just change the zoning?” Winter, “I would like to do that. But, we have a lot of areas to address and I would like to do it all at one time. It would be nice to work with Met Council and get it all done at once. This would be a Comprehensive Plan change.” Johnson, “I truly appreciate that attitude. The long term vision is to sell lots of Minnesota wares, such as Minnesota Honey and Minnesota Wine.”

Approve Minutes,  
September 23, 2013  
Special Meeting and  
September 13, 2013  
Joint Meeting

Terry, “I have a change to the September 23, 2013 Special Meeting minutes on Page 3 of 5, first long paragraph: Bonin said we can *have* all kinds of rules and regulations along the highway, but she thinks we should *let* people to do within reason what they want to do.”

**Tanner made a motion to approve the September 23, 2013 Special Meeting Minutes as amended and the September 13, 2013 Joint Meeting Minutes as submitted. Mundle seconded; all in favor, motion carries.**

Council Report

Ronning, “I don’t have much to report. The main thing we are working on is trying to find a way to reduce the 2014 Levy. If anyone has any ideas, please bring them to the table.”

Adjournment

**Cornicelli made a motion to adjourn the meeting at 9:01 p.m. Eldon seconded; all in favor, motion carries.**

Attest:

Wendy Warren  
Deputy City Clerk